

Borough of Highlands Land Use Board 42 Shore Drive, Highlands, NJ 07732 Phone: 732-872-1224 Fax: 732-872-0670

Subdivision Application

Minor Subdivision: Preliminary Final	Major Subdivision: Preliminary Final
	For Official Use
Application Fee Paid: \$	Date Received:
Received By:	Case No:

Board Action: _____

Date: _____

Application is hereby made for the classification of a sketch of a proposed subdivision of land hereinafter more particularly described:

Applicant Information								
	Θ	1						
Name	Jaur	XIOTA						8
Street 🔏	Strawberry	Lane	City	Monroe	State	N.J. Zip	08839	_
Phone # _			_	4			20	

Owner Information (if other than applicant)					
Name5	ame				
Street	City	State	Zip		
Phone # Interest of applicant if other than ov	vner:	RECEIVED			
		AUG 1 7 2020			

LAND USE BOARD

Subdivision Information						
Street Bay fire Number of existing lots:	Block 81 Lot Zone R-2.01 Number of proposed lots: Two					
Area of entire tract: $50 \chi / 0$	_and portion being subdivided: <u> </u>					



Borough of Highlands Land Use Board 42 Shore Drive, Highlands, NJ 07732 Phone: 732-872-1224 Fax: 732-872-0670

Affidavit of Applicant
State of New Jersey)
SS.
County of Monmouth)
I, the undersigned, certify that all of the statements contained herein are true and correct to the best of my knowledge, information and belief.
Applicant's Signature Date
Sworn and subscribed before me this <u>17</u> day of <u>Avgust</u> <u>wood</u> <u>ELIZABETH HEMINGHAUS</u> NOTARY PUBLIC STATE OF NEW JERSEY MY COMMISSION EXPIRES 1-31-2025
Authorization (If anyone other than the owner is making this application, the following authorization must be completed.)
To the Land Use Board:
is hereby authorized to make this application. Date:
Signature of Owner:

RECEIVED

AUG 1 7 2020 LAND USE BOARD



Dev	elopment Plans	
Sell lot only:	□ Yø\$	🗆 No
Construct houses for sale:	⊡ Yes	🗆 No
Other:		

Attach a copy of any deed restrictions or restrictive covering

Information of Person Preparing Sketch Plat					
Name <u>All End Aven</u> City <u>Belsond</u> State <u>MS</u> Zip <u>077/8</u> Phone # <u>732-03/8</u>					

Sketch Plat Requirements

The Sketch Plat shall be based on the Tax Map information or other similar accurate information based at a scale preferably not less than 100 feet to the inch to enable the entire tract to be shown on one sheet and shall show or include the following information:

- a. The location of that portion which is to be subdivided in relation to the entire tract.
- b. All existing structures and wooded areas within the portion to be subdivided and within 200 feet thereof.
- c. The name of the owners and of adjoining lots within 200 feet as disclosed by the most recent tax record information (Major subdivision, or minor is not waived by the Board).
- d. The Tax Map Sheet, Block and Lot numbers.
- e. All streets or roads and streams within 200 feet of the subdivision.
- f. Sketch of proposed layout of Street, Lots and other features in relation to existing conditions.

AUG 17 2020

LAND USE BOARD

BOROUGH OF HIGHLANDS, N. J.

INCORPORATED 1900



CAROLYN BROULLON MAYOR

KIMBERLY GONZALES ADMINISTRATOR

MATTHEW CONLON, RMC BOROUGH CLERK

07732 COUNTY OF MONMOUTH 732-872-1224 PH

42 SHORE DRIVE

732-872-0670 FX WW.HIGHLANDSBOROUGH.ORG

DENIAL OF DEVELOPMENT PERMIT

June 4, 2020

Arjika Properties 8 Strawberry Monroe, NJ 08831

RE: 289 Bay Avenue Block 81, Lots 12

Please be advised that the above referenced application to subdivide the property, creating two building lots, has been reviewed for compliance with the Borough of Highlands Zoning Ordinance. The property is located in the R-201 zone.

This application will require the following approvals:

Submission of a Floodplain Certification has not been included. This is a requirement. $\int \frac{18}{18} \frac{18}{23} \frac{10}{25}$

Your front setback has been incorrectly calculated on the plan, the setback would be to the covered porch. Please correct.

#21-55	Minor subdivision
#21-864a	Minimum lot area: 3,750 s.f is required, 2,500 s.f. is proposed <i>2 variances</i>
	Minimum frontage: 50' is required, 25' is proposed <i>2 variances</i>
	Side setback: 6/8' is required, 3/4' is proposed <i>4 variances</i>
#21-65.27A	Deck (unroofed) requires 3' to property line, where 1' is <i>proposed 2 variances</i>

Please contact the Land Use Board Secretary, Michelle Hutchinson, at 732-872-1224 to proceed with an application. Should you have any questions, feel free to contact me.



Copy

Sincerely,

Marianne Dunn Zoning Officer

Applicat Zoning Permit	42 Shore Drive, Highlands, NJ 07732
Note: All applications must be accompanied by a property survey sh Applications involving businesses must show the scope of the busin	
The Following Fees Shall Apply: Residential Applications: New Construction single or two-family- \$5 Renovations/Additions/Alterations/Repairs- \$10, Other Residential Non-Residential Applications – New Construction - \$100, Renovation OWNER/AL Name: Ar Sika Repervices Inc Address: Strauger Monro C Telephone: Home: 732 - 558 -1528 Wo Date: 5/16/20 Fee: \$ 50 000	- \$100/unit Shed - \$25 ns/Additions - \$25
LOCATION OF Block: <u>81</u> Lot(s): <u>1201</u> - <u>120</u> Zone: Street Address: <u>289</u> Bay fre Are High/ands DESCRIPTION OF THE WORK TO BE	
Construct minor Subdivision +	<u> </u>
Check one: I New Addition Alteration Repair I certify the attached survey is accurate relating to existing and pro- Borough of Highlands and their Agents to come onto the subject p the application. I Yes No Signature: Date	oposed improvements. In addition, I grant permission to the property, for the purposes of conduction inspections, relating to
FLOOD HAZARD ARE Check Applicable Flood Zone: AE VE X All applications within the AE and VE Flood Zoned, as indication up an applicably determination from the NJDEP.	oon the most recent FEMA Flood Maps, require submission to
FOR BOROUG Determination: □ APPROVED If your application has been DEN Ordinance Section Allowed/Required	DENIED
Remarks: See affacted	2
Zoning Officer	Date

Note: A Zoning Permit indicates that the proposed project conforms to the planning/zoning regulations of the Borough of Highlands; A building permit is required (per the requirements of the Uniform Construction Code of NJ) BEFORE beginning work. The Zoning Permit is valid for one year. If your application has been denied, you may appeal this denial to the Land Use Board as provided by the New Jersey Municipal Land Use Law. You must submit letter of appeal to Land Use Board secretary within 20 days. Note: If the following box is checked, you must submit a Flood Review Application to the Borough Flood Administrator, Local Flood Review Required

OMB No. 1660-0008 Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Cer	rtificate and all attachments for (1) community official, ((2) insurance ac	ent/company,	and (3)	building owner
--------------------------------------	--------------------------------------	-------------------------	------------------	--------------	---------	----------------

	SECT	ION A - PROPERTY	INFORM	IATION	1	FOR INSURA	NCE COMPANY USE
A1. Building Owner's Name ARJIKA PROPERTY INC.						Policy Number	er:
Box No.	Address (incl Y AVENUI	uding Apt., Unit, Suite E	e, and/or	Bldg. No.) or	P.O. Route and	Company NA	IC Number:
City				State		ZIP Code	
HIGHLAND				New Jerse	and the second se	07732	
		d Block Numbers, Ta: BLOCK 81 ON TAX N					MAP NO. 15
A4. Building Use (e	.g., Resident	ial, Non-Residential, A	Addition,	Accessory, et	tc.) RESIDENTI	AL PROPOSED	AND ELEVATED
A5. Latitude/Longitu	ude: Lat. 40	* 24' 14.63" N	Long. 73	* 59' 32.20" V	V Horizontal C	Datum: 📋 NAD 19	927 🗙 NAD 1983
A6. Attach at least	2 photograph	is of the building if the	Certifica	ate is being us	ed to obtain flood i	insurance.	
A7. Building Diagra	m Number	7 PROPO	SED W	ALKOUT L	EVEL ENCLOS	JRE WITH GAI	RAGE
74	-	bace or enclosure(s):					
_		space or enclosure(s)			419.00 sq ft		
	2	od openings in the cra				hove adjacent ora-	ie 2
		. –			(5) WITH 1,0 100r a	bove adjacent dre	PROPOSED
		enings in A8.b		sq in	2		SMART VENTS
d) Engineerad	tloud openin	gs? 🖾 Yes 🗔 N	io				MODEL 1540-510
A9. For a building w	ith so attach	ed garage: ATTAC	HED G	ARAGE IN	ENCLOSURE		
a) Square foot	ge of attach	ed garage		400.00 sq ft			
1		od openings in the att			0 foot above adia	cent grade 2	
		2	aonoa g				POSED
c) Total net are		10		400.00 \$q	in		MART VENTS
d) Engineered	flood opening	gs? 🗙 Yes 🗌 N	10			М	ODFL 1540-510
		CTION B - FLOOD					
B1. NFIP Communi			NJORA	B2. County			B3. State
BOROUGH OF H	-			MONMOUT			New Jersey
			[
B4. Map/Panel Number	B5. Suffix	B6. FIRM Index Date	Effe	RM Panel ective/	B8. Flood Zone(s)	B9. Base Flood E (Zone AO, use	levation(s) Base Flood Depth)
34025C 0088G	G	06-20-2018	Rev 06-20-2	vised Date	AE	ELEVATION 11	
040200 00000		00-20-2010	00-20-2	2010			
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9:							
FIS Profile I FIRM Community Determined Other/Source:							
B11. Indicate elevation datum used for BFE in Item B9: 🗌 NGVD 1929 🔀 NAVD 1988 🔲 Other/Source:							
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? 🗌 Yes [X] No							
Designation	Jaie;		CBRS				
Concerning of Factors and the state of the second state			States Street Street			The second s	

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: November 30, 2022
IMPORTANT: In these spaces, copy the	corresponding information from	Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Un 289 BAY AVENUE			Policy Number:
City HIGHLANDS		ZIP Code 07732	Company NAIC Number
SECTION C -	BUILDING ELEVATION INFORM	MATION (SURVEY RE	EQUIRED)
and the second secon	and the second	Building Under Constru	
C1. Building elevations are based on: *A new Elevation Certificate will be r		•	
C2. Elevations – Zones A1–A30, AE, AF Complete Items C2.a–h below accor	, H, A (with BFE), VE, V1–V30, V (with	th BFE), AR, AR/A, AR/	
Benchmark Utilized: KV0848 MONM	10UTH J-70 Vertical Dat	tum: ELEVATION 86.	43'
Indicate elevation datum used for the		below.	
NGVD 1929 🔀 NAVD 19			
Datum used for building elevations n			Check the measurement used.
a) Top of bottom floor (including bas	PROPOSE sement, crawlspace, or enclosure f	D loor)	6.0 🗙 feet 🗌 meters
b) Top of the next higher floor PF	OPOSED ELEVATED FIN. FL	OOR	15.2 X feet meters
c) Bottom of the lowest horizontal s	tructural member (V Zones only)		N/A ifeet imeters
d) Attached garage (top of slab)	PROPOSED GARAGE FLOOP	2	6.0 X feet I meters
e) Lowest elevation of machinery of (Describe type of equipment and	r equipment servicing the building	OP. AC UNIT	14.5 🔀 feet 🔲 meters
f) Lowest adjacent (finished) grade			5.7 🔀 feet 🔲 meters
g) Highest adjacent (finished) grade	e next to puilding (HAG)	A a	5.9 🗙 feet 🗌 meters
h) Lowest adjacent grade at lowest		na	
structural support		.a.	5.8 X feet T meters
SECTION D	- SURVEYOR, ENGINEER, OR	ARCHITECT CERTIF	ICATION
This certification is to be signed and seal I certify that the information on this Certil statement may be punishable by fine or	ficate represents my best efforts to	interpret the data availa	y law to certify elevation information. able. I understand that any false
Were latitude and longitude in Section A	provided by a licensed land survey	/or? ⊠Yes □No	Check here if attachments.
Certifier's Name	License Number		
THOMAS CRAIG FINNEGAN P.L.S.	N.J.G.S. 38601		
Title PROFESSIONAL LAND SURVEYOR			50 x
Company Name			Place
THOMAS FINNEGAN LAND SURVEYIN	IG		Seal
Address			Here
245 EAST END AVENUE			8 1 5 1 5
City BELFORD	State New Jersey	ZIP Code 07718	
Signature	Date	Telephone	Ext.
Moyum Ging	Fring 06-15-2020	(732) 787-0318	
Copy all pages of this Elevation Certificate	and all attachments for (1) commun	ity official, (2) insurance	agent/company, and (3) building owner.
Comments (including type of equipment THE ELEVATED PROPOSED DWELLIN THE FURNACE/WATER HEATER TO B THE AC UNIT TO BE AT ELEVATION 1 THE ENCLOSURE AND GARAGE FLOO THE ENGINEERED FLOOD VENTS TO	NG FINISHED FLOOR ELEVATION E AT ELEVATION 15.2' 4.5' OR TO BE AT ELEVATION 6.0'	v 15.02'	ii.
	DE SMART VERT MODELING. 1	U-U-U IU	

ELEVATION CERTIFICATE					OMB No. 1660- Expiration Date:	0008 November 30, 2022
IMPORTANT: In these spaces, copy the corres	ponding information	from Sec	tion A.	Ι	FOR INSURAN	CE COMPANY USE
Building Street Address (including Apt., Unit, Suit 289 BAY AVENUE	Contraction of the local division of the loc			x No.	Policy Number:	the second se
City HIGHLANDS	State New Jersey	ZIP (Code		Company NAIC	Number
SECTION E - BUILDIN					REQUIRED	
	ZONE AO AND ZON					-
For Zones AO and A (without BFE), complete Iter complete Sections A, B,and C. For Items E1–E4, enter meters.						
 E1. Provide elevation information for the followin the highest adjacent grade (HAG) and the lo a) Top of bottom floor (including basement, 		_				
crawlspace, or enclosure) is b) Top of bottom floor (including basement,	. 		feet	meter		below the HAG.
crawlspace, or enclosure) is						below the LAG.
E2. For Building Diagrams 6–9 with permanent fl the next higher floor (elevation C2.b in the diagrams) of the building is	lood openings provide	d in Sectio		_		-2 of Instructions),
E3. Attached garage (top of slab) is			feet □ feet	meter		\Box below the HAG.
E4. Top of platform of machinery and/or equipme servicing the building is	ent					<u>2</u>
E5. Zone AO only: If no flood depth number is av	vailable, is the top of t	he bottom	floor eleva	L meter	cordance with th	e community's
floodplain management ordinance? 🔲 Ye	s 🗌 No 🗌 Ünkr	iown. The	local offic	cial must o	certify this inform	nation in Section G.
SECTION F PROPERTY	YOWNER (OR OWN	ER'S REPI	RESENTA	TIVE) CE	RTIFICATION	
The property owner or owner's authorized repres community-issued BFE) or Zone AO must sign he	entative who complete ere. The statements in	es Sections	s A, B, and A, B, and	d E for Zo E are cor	ne A (without a rect to the best	FEMA-issued or of my knowledge.
Property Owner or Owner's Authorized Represen	tative's Name					
Address		City) v	Sta	ate	ZIP Code
Signature		Date		Te	lephone	
Comments			N	~~~~~		
₩ *					∧ ¹	
					Check	here if attachments.

Form Page 3 of 6

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: November 30, 2022
IMPORTANT: In these spaces, copy the corre	sponding information	n from Section A.	FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Su 289 BAY AVENUE	lite, and/or Bldg. No.) o	r P.O. Route and Box N	No. Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number
SECTIO	N G - COMMUNITY IN	FORMATION (OPTIO	NAL)
The local official who is authorized by law or or Sections A, B, C (or E), and G of this Elevation used in Items G8–G10. In Puerto Rico only, ent	Certificate. Complete th	ne community's floodpla ne applicable item(s) a	ain management ordinance can complete nd sign below. Check the measurement
G1. The information in Section C was take engineer, or architect who is authorize data in the Comments area below.)	en from other document ed by law to certify elev	tation that has been sig ation information. (Indi	ned and sealed by a licensed surveyor, cate the source and date of the elevation
G2. A community official completed Section or Zone AO.	on E for a building locat	ed in Zone A (without a	a FEMA-issued or community-issued BFE)
G3. The following information (Items G4–0	G10) is provided for cor	mmunity floodplain mar	nagement purposes.
G4. Permit Number	G5. Date Permit Issue	ed	G6. Date Certificate of Compliance/Occupancy Issued
G7. This permit has been issued for:	New Construction	Substantial Improvement	ent
G8. Elevation of as built lowest floor (including of the building:	basement)] feet [_] meters
G9. BFE or (in Zoze AO) depth of flooding at t	he building site:	E	feet imeters Datum
G10. Community's design flood elevation:] feet [] meters Datum
Local Official's Name		Title	
Community Name	· · · · ·	Telephone	1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1 1.1
Signature		Date	1 10 X +- 0
Comments (including type of equipment and loc	ation, per C2(e), if appl	icable)	
			Check here if attachments.

Ě		VA	Т	ION	CE	RT	IFI	CΔ	TE
	ᄂᄃ	VP		NU		K L		CA	

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008 Expiration Date: November 30, 2022

	s convithe correspondin	a information f	om Soction A		
PORTANT: In these space uilding Street Address (inclu					ANCE COMPANY U
291 BAY AVE	NUE	- ·			
y HIGHLANDS		ate ew Jersey	ZIP Code 07732	Company N	AIC Number
HIGHLANDS		ew Jersey	01132		
using the Elevation Certi structions for Item A6. Iden Left Side View." When app ents, as indicated in Section	ntify all photographs with da plicable, photographs mus	ate taken; "Front ' t show the found	/iew" and "Rear Vie ation with represe	ew"; and, if required, ntative examples of	"Right Side View" an the flood openings of
				5 10 × 30 A	
	ас — У		2	·	
1	×	(2)			£
					2 I I
				æ	²
					2 12 V
		Photo One			
oto One Caption				2 2 - 0	Clear Photo (
	<u>.</u>				
					18 -C 11 1 2*
			#)		
			74		
			æ		

ļ	E	V	Ά	Т	10	C	N	0		EI	S,	Т	١F	ľ	С	Α	T	Ε	
_		•				<u> </u>			-	-					~			_	

BUILDING PHOTOGRAPHS Continuation Page

OMB No. 1660-0008 Expiration Date: November 30, 2022

IMPORTANT: In th	hese spaces, copy th	FOR INSURANCE COMPANY USE		
	ldress (including Apt., l BAY AVENUE	Unit, Suite, and/or Bldg. No.) or I	P.O. Route and Box No.	Policy Number:
City		State	ZIP Code	Company NAIC Number
HIGHLANDS	>	New Jersey	07732	

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo	Three	Caption

Photo Three

Photo Four Caption

Photo Four

Clear Photo Four

Clear Photo Three

U.S. DEPARTMENT OF HOMELAND SECURITY Federal Emergency Management Agency National Flood Insurance Program

OMB No. 1660-0008 Expiration Date: November 30, 2022

SMART VENTS

MODEL 1540-510

PROPOSED VENTS

SMART VENTS MODEL 1540-510

"PROPOSED" ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1–9.

opy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insuranc	e agent/company, and (3) building owner.
SECTION A - PROPERTY INFORMATION	FOR INSURANCE COMPANY USE
A1. Building Owner's Name ARJIKA PROPERTY INC.	Policy Number:
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE	Company NAIC Number:
City State	ZIP Code
HIGHLANDS New Jersey	07732
	TAX MAP NO. 15
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood in	surance.
A7. Building Diagram Number 7 PROPOSED WALKOUT LEVEL ENCLOSURE	E WITH GARAGE
A8. For a building with a crawlspace or enclosure(s):	
a) Square footage of crawlspace or enclosure(s) 419.00 sq ft	
b) Multiple of permanent flood-openings in the crawispace or enclosure(s) within 1.0 foot ab	cve adjacent grade
S) Total net area of 250d openings in A8.b 600.00 sq in	PROPOSED

A9. For	a building	with an	attached	garage:
	•			3

a) Square footage of attached garag	e 400.00	sq ft
-------------------------------------	----------	-------

b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 2

c) Total net area of flood openings in A9.b _____ \$q in

d) Engineered flood openings? 🛛 Yes 🗌 No 🚽

d) Engineered flood openings? X Yes D No

	Si	ECTION B - FLOOD	INSURA	NCE RATE	MAP (FIRM)	NFORMATION	
B1. NFIP Comm BOROUGH OF	Community Number		B2. County MONMOUT	Name TH COUNTY	B3. State New jersey		
B4. Map/Panel Number 34025C 0088G	B5. Suffix G	B6. FIRM Index Date 06-20-2018	Effe	M Panel ective/ vised Date 2018	B8. Flood Zone(s) AE	B9. Base Floor (Zone AO, ELEVATION 1	use Base Flood Depth)
FIS Pro	file 🔀 FIRM	Base Flood Elevatic	ermined [] Other/Sou	•	red in Item B9:	
B11. Indicate ele	evation datum	used for BFE in Item	B9: 🔲 N	GVD 1929	X NAVD 1988	B 📋 Other/Source	;e:
B12. Is the build	ling located in a	a Coastal Barrier Re	sources Sy	stem (CBR	S) area or Other	wise Protected Area	a (OPA)? 🗌 Yes 🔀 I
Designatio	n Date:	Г					

ELEVATION CERTIFICATE			OMB No. 1660- Expiration Date	0008 : November 30, 2022
IMPORTANT: In these spaces, copy the c	corresponding information from	Section A.	FOR INSURAN	ICE COMPANY USE
Building Street Address (including Apt., Uni 291 BAY AVENUE	and the second		Policy Number	
City HIGHLANDS		ZIP Code 07732	Company NAI	C Number
SECTION C - E	BUILDING ELEVATION INFOR	MATION (SURVEY	REQUIRED)	
•		Building Under Const	truction*	ished Construction
*A new Elevation Certificate will be re C2. Elevations – Zones A1–A30, AE, AH. Complete Items C2.a–h below accord	, A (with BFE), VE, V1–V30, V (wi	th BFE), AR, AR/A, A	R/AE, AR/A1–A30 erto Rico only, ente	, AR/AH, AR/AO. er meters.
Benchmark Utillzed: KV0848 MONM	OUTH J-70 Vertical Da	tum: ELEVATION 8	6.43'	
Indicate elevation datum used for the	· - /	below.		
□ NGVD 1929 🖾 NAVD 19				
Datum used for building elevations m			Check the i	measurernent used.
a) Top of bottom floor (including bas	ement, crawlspace, or enclosure	D loor)	<u>6.0</u> 🗙 fee	t 🔲 meters
b) Top of the next higher floor PRC			15.2 🗙 fee	t 🔲 meters
c) Bottom of the lowest horizontal st			N/A 🗍 fee	t meters
d) Attached garage (top of slab)	PROPOSED GARAGE FLOO	R	6.0 🔀 fee	t neters
 e) Lowest elevation of machinery or (Describe type of equipment and 	equipment servicing the building location in Comments) PRO		14.5 🗙 fee	t 🗌 meters
f) Lowest adjacent (finished) grade			5.7 🔀 fee	t 🗍 meters
g) Highest adjacent (finished) grade			5.9 🔀 fee	t 🗍 meters
 h) Lowest adjacent grade at lowest structural support 	elevation of deck of stairs, including	וק 	<u>5.8</u> 🗙 fee	et 📋 meters
SECTION D -	- SURVEYOR, ENGINEER, OR	ARCHITECT CERT	IFICATION	
This certification is to be signed and seale I certify that the information on this Certifi statement may be punishable by fine or in	cate represents my best efforts to	interpret the data ava	by law to certify e allable. I understar	levation information. Ind that any false
Were latitude and longitude in Section A		1997 - C.	Check I	nere if attachments.
Certifier's Name	License Number			
THOMAS CRAIG FINNEGAN P.L.S. Title	N.J.G.S. 38601			
PROFESSIONAL LAND SURVEYOR				ame 11.
Company Name				Place
THOMAS FINNEGAN LAND SURVEYING	G			Seal
Address 245 EAST END AVENUE				Here
City BELFORD	State New Jersey	ZIP Code 07718		
Signature	Date	Telephone	Ext.	-
Chunn City	Juny 06-15-2020	(732) 787-0318	3	346
Copy all pages of this Elevation Certificate	and all attachments for (1) commun	nity official, (2) insurance	ce agent/company,	and (3) building owner.
Comments (including type of equipment a THE ELEVATED PROPOSED DWELLIN THE FURNACE/WATER HEATER TO BE THE AC UNIT TO BE AT ELEVATION 14 THE ENCLOSURE AND GARAGE FLOO THE ENGINEERED FLOOD VENTS TO	and location, per C2(e), if applicab G FINISHED FLOOR ELEVATION E AT ELEVATION 15.2' 4.5' DR TO BE AT ELEVATION 6.0'	le) N 15.02'		

OMB No.	1660-0	008		
Expiration	Date:	November	30,	2022

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: November 30, 2022
MPORTANT: In these spaces, copy			FOR INSURANCE COMPANY USE
Building Street Address (including Ap 291 BAY AVENUE	ot., Unit, Suite, and/or Bldg. No.) or	P.O. Route and Box No.	Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number
SECTION E	- BUILDING ELEVATION INFO FOR ZONE AO AND ZON	RMATION (SURVEY NO IE A (WITHOUT BFE)	T REQUIRED)
For Zones AO and A (without BFE), complete Sections A, B,and C. For It enter meters.	complete Items E1–E5. If the Certif ems E1–E4, use natural grade, if a	ficate is intended to support wailable. Check the measu	t a LOMA or LOMR-F request, rement used. In Puerto Rico only,
E1. Provide elevation information for	G) and the lowest adjacent grade (l	priate boxes to show wheth _AG).	ner the elevation is above or below
crawlspace, or enclosure) is b) Top of bottom floor (including		feet 🛄 met	ers 🔲 above or 🛄 below the HAG
crawlspace, or enclosure) is		[] feet [] met	
E2. For Building Diagrams 6–9 with the next higher floor (elevation 0 the diagrams) of the building is	permanent flood openings provide C2.b in	d in Section A Items 8 and/	
E3. Attached garage (top of slab) is		[] feet [] met	
E4. Top of platform of machinery an servicing the building is	d/or equipment	[] feet [] met	ters 🔲 above or 🗍 below the HAG
E5. Zone AO only: If no flood depth floodplain management ordinan	number is available, is the top of th ce? [] Yes [] No [] Unkn	ne bottom floor elevated in a own. The local official mus	accordance with the community's st certify this information in Section G.
SECTION F	PROPERTY OWNER (OR OWNE	R'S REPRESENTATIVE)	CERTIFICATION
The property owner or owner's author community-issued BFE) or Zone AO	prized representative who complete must sign here. The statements in	es Sections A, B, and E for Sections A, B, and E are o	Zone A (without a FEMA-issued or correct to the best of my knowledge.
Property Owner or Owner's Authoriz	ed Representative's Name		
Address		City	State ZIP Code
Signature		Date	Telephone
Comments	i k		
34 L			4

6-3

OMB No. 1660-0008	
Expiration Date: November 30, 2022	

ELEVATION CERTIFICATE			OMB No. 1660-0008 Expiration Date: November 30, 202
MPORTANT: In these spaces, copy t	FOR INSURANCE COMPANY US		
Building Street Address (including Apt. 291 BAY AVENUE	, Unit, Suite, and/or Bldg. No.) o	r P.O. Route and Box I	No. Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number
	SECTION G - COMMUNITY IN	FORMATION (OPTIC	NAL)
Sections A, B, C (or E), and G of this E used in Items G8–G10. In Puerto Rico	Elevation Certificate. Complete th only, enter meters.	he applicable item(s) a	ain management ordinance can complete nd sign below. Check the measurement
engineer, or architect who is data in the Comments area t	authorized by law to certify elev below.)	ration information. (Indi	gned and sealed by a licensed surveyor, icate the source and date of the elevation
or Zone AO.			a FEMA-issued or community-issued BFE)
G3. [_] The following information (Ite	ems G4–G10) is provided for co	mmunity floodplain ma	nagement purposes.
G4. Permit Number	G5. Date Permit Issue	ed	G6. Date Certificate of Compliance/Occupancy Issued
 G7. This permit has been issued for: G8. Elevation of as-built lowest floor (of the building: G9. BFE or (in Zone AO) depth of floor 	oding at the building site:	[feetmeters Datum
G10. Community's design flood elevati	ion:	· 714	☐ feet ☐ meters
		Title	
Community Name		Telephone	1 6 8 9
Signature	an gan an inne an Anna an Anna an Anna an Anna an Anna	Date	(i = 4)
Comments (including type of equipmer	nt and location, per C2(e), if app	licable)	
			Check here if attachment

k

EL	.E\	/Α	ΤI	0	Ν	С	ER	۲)	IF	IC	A	Τ	E
----	-----	----	----	---	---	---	----	----	----	----	---	---	---

.

BUILDING PHOTOGRAPHS

OMB No. 1660-0008 Expiration Date: Nove mber 30, 2022

ELEVATION CERTIF	ICATE	Continuation Page	Expiration Date	: November 30, 2022
IMPORTANT: In these space	ces, copy the corresponding i	nformation from Section A.	FOR INSURA	NCE COMPANY USE
	sluding Apt., Unit, Suite, and/or E ENUE	Bldg. No.) or P.O. Route and B	ox No. Policy Number	
City	State	ZIP Code	Company NAI	C Number
HIGHLANDS	New	Jersey 07732		
with: date taken; "Front '	raphs than will fit on the prece View" and "Rear View"; and, e foundation with representative	if required, "Right Side View	w" and "Left Side View.	" When applicable,
	ie.			
2		Die: BS	بەر	
		2		22
	7. 	80	2 2 ^{2 1} 1	a .
	· · · · · · · · · · · · · · · · · · ·	а ²⁴ н	а жаз — ¹²	
		249 (4 ⁽¹⁾	a i b	
			- V	
		Photo Three		Nucl I Mandel Comp. Submitted
Photo Three Caption				Clear Photo Three
<u>.</u>	e 2.7 z			,
		5		
				8
		Ν.		
		54.5		. .
	_ = 10 A)		1	
			- 1 t 20	
Dhoto Four Cartin		Pholo Four		
Photo Four Caption				Clear Photo Fou

2

BUILDING PHOTOGRAPHS

_EVATION CERTIFICATE	See Instructions		OMB No. 1660-000 Expiration Date: No		
PORTANT: In these spaces, copy the correspo		the second se	FOR INSURANCE COMPANY US		
uilding Street Address (including Apt., Unit, Suite, 291 BAY AVENUE	and/or Bldg. No.) or		Policy Number:		
ity	State	ZIP Code	Company NAIC Nu	ımber	
HIGHLANDS	New Jersey	07732			
using the Elevation Certificate to obtain NFIF nstructions for Item A6. Identify all photographs wi Left Side View." When applicable, photographs ents, as indicated in Section A8. If submitting mor	ith date taken; "Fron must show the four	nt View" and "Rear View"; a ndation with representativ	and, if required, "Right e examples of the flo	Side View" and	
			ų.		
			22		
the second se	<u>w</u>				
a a	i a c				
	`≏e e∈		í.	5	
534	4 ⁻²	1 8	N		
2. 2	Photo Or	ne			
oto One Caption				Clear Photo C	
		2			
	4 *	~			
		2			
<u>a</u>					
12 W 12					
noto Two Caption	Photo Ty	wo		Clear Photo 7	



Most Widely Accepted and Trusted

ICC-ES Evaluation Report

ICC-ES | (800) 423-6587 | (562) 699-0543 | www.icc-es.org

ESR-2074

Reissued 02/2017 This report is subject to renewal 02/2019

DIVISION: 08 00 00-OPENINGS SECTION: 08 95 43-VENTS/FOUNDATION FLOOD VENTS

REPORT HOLDER:

SMARTVENT PRODUCTS, INC.

430 ANDBRO DRIVE, UNIT 1 PITMAN, NEW JERSEY 08071

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514



Look for the trusted marks of Conformity!

"2014 Recipient of Prestigious Western States Seismic Policy Council (WSSPC) Award in Excellence"

ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this report, or as to any product covered by the report.

Copyright [©] 2017 ICC Evaluation Service, LLC. All rights reserved.



A Subsidiary of





ICC-ES Evaluation Report

Most Widely Accepted and Trusted

ESR-2074

Reissued February 2017 Revised November 2017 This report is subject to renewal February 2019.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

DIVISION: 08 00 00—OPENINGS Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMARTVENT PRODUCTS, INC. 430 ANDBRO DRIVE, UNIT 1 PITMAN, NEW JERSEY 08071 (877) 441-8368 <u>www.smartvent.com</u> <u>info@smartvent.com</u>

EVALUATION SUBJECT:

SMART VENT[®] AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2015, 2012, 2009 and 2006 International Building Code[®] (IBC)
- 2015, 2012, 2009 and 2006 International Residential Code[®] (IRC)
- 2013 Abu Dhabi International Building Code (ADIBC)[†]

[†]The ADIBC is based on the 2009 IBC, 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

- Physical operation
- Water flow

2.0 USES

The Smart Vent[®] units are engineered mechanically operated flood vents (FVs) employed to equalize hydrostatic pressure on walls of enclosures subject to rising or falling flood waters. Certain models also allow natural ventilation.

3.0 DESCRIPTION

3.1 General:

When subjected to rising water, the Smart Vent[®] FVs internal floats are activated, then pivot open to allow flow in either direction to equalize water level and hydrostatic pressure from one side of the foundation to the other. The FV pivoting door is normally held in the closed position by a buoyant release device. When subjected to rising water,

A Subsidiary of the International Code Council®

the buoyant release device causes the unit to unlatch, allowing the door to rotate out of the way and allow flow. The water level stabilizes, equalizing the lateral forces. Each unit is fabricated from stainless steel. Smart Vent[®] Automatic Foundation Flood Vents are available in various models and sizes as described in Table 1. The SmartVENT[®] Stacking Model #1540-511 and FloodVENT[®] Stacking Model #1540-521 units each contain two vertically arranged openings per unit.

3.2 Engineered Opening:

The FVs comply with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/SEI 24, Smart Vent FVs must be installed in accordance with Section 4.0.

3.3 Ventilation:

The SmartVENT[®] Model #1540-510 and SmartVENT[®] Overhead Door Model #1540-514 both have screen covers with ¹/₄-inch-by-¹/₄-inch (6.35 by 6.35 mm) openings, yielding 51 square inches (32 903 mm²) of net free area to supply natural ventilation. The SmartVENT[®] Stacking Model #1540-511 consists of two Model #1540-510 units in one assembly, and provides 102 square inches (65 806 mm²) of net free area to supply natural ventilation. Other FVs recognized in this report do not offer natural ventilation.

4.0 DESIGN AND INSTALLATION

SmartVENT[®] and FloodVENT[®] are designed to be installed into walls or overhead doors of existing or new construction from the exterior side. Installation of the vents must be in accordance with the manufacturer's instructions, the applicable code and this report. Installation clips allow mounting in masonry and concrete walls of any thickness. In order to comply with the engineered opening design principle noted in Section 2.7.2.2 and 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Smart Vent[®] FVs must be installed as follows:

- With a minimum of two openings on different sides of each enclosed area.
- With a minimum of one FV for every 200 square feet (18.6 m²) of enclosed area, except that the SmartVENT[®] Stacking Model #1540-511 and FloodVENT[®] Stacking Model #1540-521 must be

ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this report, or as to any product covered by the report.



ESR-2074 | Most Widely Accepted and Trusted

- Below the base flood elevation.
- With the bottom of the FV located a maximum of 12 inches (305.4 mm) above the higher of the final grade or floor and finished exterior grade immediately under each opening.

5.0 CONDITIONS OF USE

The Smart Vent[®] FVs described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

5.1 The Smart Vent[®] FVs must be installed in accordance with this report, the applicable code and the manufacturer's installation instructions. In the event of a conflict, the instructions in this report govern.

5.2 The Smart Vent[®] FVs must not be used in the place of "breakaway walls" in coastal high hazard areas, but are permitted for use in conjunction with breakaway walls in other areas.

6.0 EVIDENCE SUBMITTED

Data in accordance with the ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC364), dated August 2015.

7.0 IDENTIFICATION

The Smart VENT[®] models recognized in this report must be identified by a label bearing the manufacturer's name (Smartvent Products, Inc.), the model number, and the evaluation report number (ESR-2074).

MODEL NAME	MODEL NUMBER	MODEL SIZE (in.)	COVERAGE (sq. ft.)
FloodVENT®	1540-520	15 ³ / ₄ " X 7 ³ / ₄ "	200
SmartVENT®	1540-510	15 ³ /4" X 7 ³ /4"	200
FloodVENT [®] Overhead Door	1540-524	15 ³ / ₄ " X 7 ³ / ₄ "	200
SmartVENT® Overhead Door	1540-514	15 ³ /4" X 7 ³ /4"	200
Wood Wall FloodVENT®	1540-570	14" X 8 ³ /4"	200
Wood Wall FloodVENT Overhead Door	1540-574	14" X 8 ³ /4"	200
SmartVENT [®] Stacker	1540-511	16" X 16"	400
FloodVent [®] Stacker	1540-521	16" X 16"	400

TABLE 1-MODEL SIZES

For SI: 1 inch = 25.4 mm; 1 square foot = m²

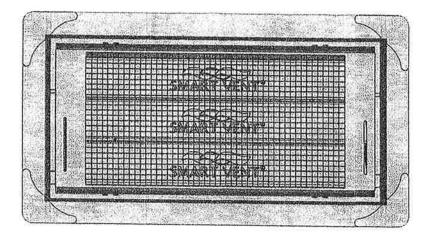


FIGURE 1-SMART VENT: MODEL 1540-510

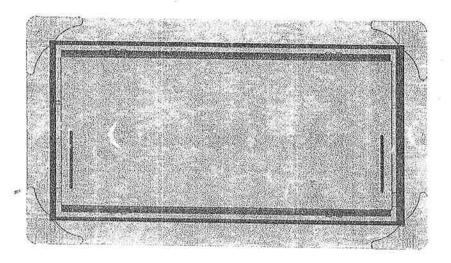


FIGURE 2-SMART VENT MODEL 1540-520

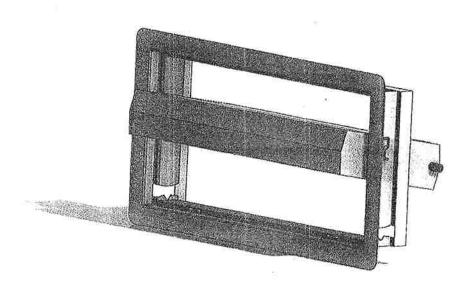


FIGURE 3--SMART VENT: SHOWN WITH FLOOD DOOR PIVOTED OPEN



ICC-ES Evaluation Report

Most Widely Accepted and Trusted

ESR-2074 CBC and CRC Supplement

Issued February 2017 Revised November 2017 This report is subject to renewal Februঞ্বry 2019.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 08 00 00—OPENINGS Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMARTVENT PRODUCTS, INC. 430 ANDBRO DRIVE, UNIT 1 PITMAN, NEW JERSEY 08071 (877) 441-8368 www.smartvent.com info@smartvent.com

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-514

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent[®] Automatic Foundation Flood Vents, recognized in ICC-ES master evaluation report ESR-2074, have also been evaluated for compliance with codes noted below.

Applicable code edition:

2016 California Building Code (CBC)

2016 California Residential Code (CRC)

2.0 CONCLUSIONS

2.1 CBC:

The Smart Vent[®] Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the master evaluation report ESR-2074, comply with 2016 CBC Chapter 12, provided the design and installation are in accordance with the 2015 *International Building Code*[®] (IBC) provisions noted in the master report and the additional requirements of CBC Chapters 12, 16 and 16A, as applicable.

The products recognized in this supplement have not been evaluated under CBC Chapter 7A for use in the exterior design and construction of new buildings located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Fire Area.

2.2 CRC;

The Smart Vent[®] Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the master evaluation report ESR-2074, comply with the 2016 CRC, provided the design and installation are in accordance with the 2015 International Residential Code[®] (IRC) provisions noted in the master report.

The products recognized in this supplement have not been evaluated under 2016 CRC Chapter R337, for use in the exterior design and construction of new buildings located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Fire Area.

The products recognized in this supplement have not been evaluated for compliance with the International Wildland-Urban Interface Code®.

This supplement expires concurrently with the master report, reissued February 2017 and revised November 2017.

ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this report, or as to any product covered by the report.





ICC-ES Evaluation Report

Most Widely Accepted and Trusted

ESR-2074 FBC Supplement

Reissued February 2017 Revised November 2017 This report is subject to renewal February 2019.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 08 00 00-OPENINGS Section: 08 95 43-Vents/Foundation Flood Vents

REPORT HOLDER:

SMARTVENT PRODUCTS, INC. 430 ANDBRO DRIVE, UNIT 1 PITMAN, NEW JERSEY 08071 (877) 441-8368 www.smartvent.com info@smartvent.com

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent[®] Automatic Foundation Flood Vents, recognized in ICC-ES master report ESR-2074, have also been evaluated for compliance with the codes noted below.

Applicable code editions:

- 2017 Florida Buliding Code—Bullding
- 2017 Florida Building Code—Residential

2.0 CONCLUSIONS

The Smart Vent[®] Automatic Foundation Flood Vents, described In Sections 2.0 through 7.0 of the master evaluation report ESR-2074, comply with the *Florida Building Code—Building* and the FRC, provided the design and installation are in accordance with the 2015 International Building Code[®] provisions noted in the master report.

Use of the Smart Vent[®] Automatic Foundation Flood Vents has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Building* and the *Florida Building Code—Residential*.

For products falling under Florida Rule 9N-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

This supplement expires concurrently with the master report, reissued February 2017 and revised November 2017.



- <u>NERAL CONDITIONS (DRAWINGS SUPERCEDE THE GENERAL NOTES & SPECIFICATION</u> ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE INTERNATIONAL NATIONAL STATE CITY AND COUNTY BUILDING. ZONING. ELECTRIC, PLUMBING, MECHANICAL AND FIRE CODES, CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER 4 ARCHITECT.
- DRAWINGS ARE NOT TO BE SCALED. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED.
- DETAILS 4 SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED 'TYPICAL' IMPLY ALL CONDITIONS TREATED SIMILARLY, MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
- THE CONTRACTOR SHALL PROTECT THEIR WORK AND PROPERTY FROM DAMAGE OR THEFT. PROTECT THE OWNER'S PROPERTY AGAINST DAMAGE, AND TAKE CARE NOT TO DAMAGE THE WORK OF OTHERS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS, ETC., INSPECTIONS REQUIRED AND SHALL OBTAIN ALL CERTIFICATES OF OCCUPANCY, PAYMENT FOR ALL PERMITS AND CERTIFICATES SHALL BE BY THE OWNER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND SHALL CONFORM IN ALL RESPECTS TO THE RULES, REGULATIONS AND STATUTES GOVERNING CONSTRUCTION SAFETY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES. TECHNIQUES OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH DRAWINGS OR THE REQUIRED CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR AND MATERIALS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK IN ACCORDANCE WITH MECHANICS SKILLED IN THEIR TRADE. IO. ALL WORK SHALL BE DONE IN A FIRST CLASS MANNER BY EXPERIENCED PERSONNEL.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING FOR ALL WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL BRACE AND PROTECT ALL WORK IN PROGRESS THROUGH THE COMPLETION OF THE PROJECT
- ALL MATERIALS & PRODUCTS SHALL BE AS SHOWN ON THE DRAWINGS. ANY SUBSTITUTIONS SHALL BE PERMITTED UPON THE RECEIPT OF 3 COPIES OF PRODUCT DATA TO THE OWNER FOR CONSIDERATION TWO WEEKS (MINIMUM) PRIOR TO STARTING WORK.
- ALL MATERIALS AND EQUIPMENT SHALL BE HANDLED 4 INSTALLED IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS, ALL WARRANTIES SHALL BE DELIVERED TO THE HOMEOWNER UPON SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL COMPLY WITH ALL MINIMUM INSURANCE REQUIREMENTS AS MANDATED BY STATE REGULATIONS & THE OWNER TO PROTECT THE OWNER FROM CLAIMS FOR DAMAGES & PERSONAL INJURIES, INCLUDING DEATH, WHICH MAY ARISE IN CONNECTION WITH THIS PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED BY THE CONTRACTOR AND 16. SUBCONTRACTORS AND EMPLOYEES AGAINST ANY AND ALL DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE IN THE COVERAGE AMOUNTS REQUIRED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND ARRANGE FOR ALL NECESSARY TEMPORARY POWER. LIGHTING, WATER, HEAT, ETC., AS MAY BE REQUIRED DURING CONSTRUCTION, INCLUDING PROVIDING ON SITE 'PORTA JOHN' FACILITIES.
- THE CONTRACTOR SHALL REMOVE AND SCRAP ALL RUBBISH, PACKING MATERIAL AND DEBRIS RELATED TO HIS WORK FROM THE INTERIOR AND EXTERIOR OF THE PROJECT ON A DAILY BASIS.
- AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL ARRANGE FOR A FINAL CLEANING OF ALL SPACES, MATERIALS AND EQUIPMENT, INCLUDING GLASS, METAL, FLOORS, HARDWARE, CEILINGS, ETC. BUILDING SHALL BE LEFT CLEAN AND READY FOR USE UPON COMPLETION OF PROJECT.
- THE ARCHITECT WILL BE IN THE FIRST INSTANCE, THE INTERPRETER OF THE REQUIREMENTS OF THE DOCUMENTS, THE ARCHITECT WILL ALSO HAVE THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE DOCUMENTS. 20.
- THESE DRAWINGS ARE INTENDED TO PROVIDE DESIGN & CONSTRUCTION INFORMATION OF ALL UNITS DESCRIBED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER'S ARCHITECT IF, IN HIS OPINION, ANY UNIT IS INCOMPLETE WITH THE INFORMATION GIVEN HEREIN, FAILURE TO NOTIFY THE ARCHITECT SHALL MEAN THE CONTRACTOR UNDERSTANDS THE DOCUMENTS AND THEIR INTENT, AND ALL ITEMS WILL BE COMPLETE FOR OWNER'S USE.
- ANY FORM OF DIRECT REPRODUCTION OF THESE DRAWINGS AND DESIGN IN WHOLE OR PART IS PROHIBITED 21. UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT. ITE WORK (SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION)
- IN LIEU OF A GEOTECHNICAL EVALUATION, THE PRESUMPTIVE LOAD BEARING PRESSURE FOR THE SOIL SHALL BE 2,0000000, CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY TO BE EQUAL TO, OR EXCEEDING THE ASSUMED VALUE BEFORE PROCEEDING WITH THE WORK. A SOIL BEARING VALUE FOUND TO 22 BE LESS THAN THE ASSUMED SHALL BE REPORTED TO THE ARCHITECT FOR FOOTING REDESIGN BY THE ARCHITECT, OR A STRUCTURAL ENGINEER AT THE DISCRETION OF THE ARCHITECT, 4 ANY ADDITIONAL COSTS SHALL BE BORN BY THE OWNER.
- THE SITE SHALL BE LEFT IN AS NATURAL A STATE AS POSSIBLE AT THE COMPLETION OF CONSTRUCTION. THE WORKERS SHALL TAKE SPECIAL CARE TO SEE THAT NO UNNECESSARY DAMAGE IS DONE. CLEARING OF VEGETATION NECESSARY FOR EXCAVATION, BACKFILLING AND GRADING SHALL BE STRICTLY COORDINATED,
- CONTRACTOR SHALL VERIFY ALL FINISHED GRADES AT BUILDING CORNERS.
- THE CONTRACTOR SHALL GRADE SOIL TO DIRECT SURFACE WATER AWAY FROM THE BUILDING. THE GRADE SHALL FALL 6" WITHIN THE FIRST 10' OF THE BUILDING 4 HAVE A MINIMUM SLOPE OF 1/4" PER FOOT THEREAFTER, FINISH GRADE SHALL BE CLEAN, FREE OF ROOTS, DEBRIS, ETC. AND SHALL BE RAKED TO 26. SMOOTH SURFACE. THE GRADE SHALL BE 8" MIN. BELOW SIDING ALL AROUND.
- CONTRACTOR SHALL EMPLOY ALL METHODS, MATERIALS & MEANS TO CONSTRUCT THE PROJECT USING THE MASONRY LEAST ENERGY, ALL PRODUCTS SHALL BE CONSIDERED FOR THEIR ENERGY CONSERVATION VALUE, TO THE 1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ACI 530-99 AND ACI EXTENT PRACTICAL, THE MORE ENERGY EFFICIENT PRODUCT WILL BE INCLUDED IN THE PROJECT. THE PROJECT WILL MEET OR EXCEED ENERGY REQUIREMENTS. THE APPROPRIATE ENERGY CHECKS WILL BE PERFORMED AS REQUESTED & FOR THE PREVAILING FEE PAID BY THE OWNER. THE CONTRACTOR SHALL ADVISE ARCHITECT OF ANY 4 ALL ITEMS OF NON COMPLIANCE REQUIRING REVISION, REDESIGN, ETC., TO COMPLY WITH ENERGY CODE AT TIME OF DISCOVERY, DO NOT PROCEED UNTIL ALL ITEMS ARE ADDRESSED BY ARCHITECT & APPROVED BY AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL CONSTRUCT THE PROJECT TO COMPLY WITH THE REQUIREMENTS OF THE AREA, TO SATISFY HIGH WIND & FLOODING REQUIREMENTS, THE CONTRACTOR SHALL ADVISE ARCHITECT OF ANY & ALL 4. MORTAR SHALL CONFORM TO ASTM C210, TYPE M OR 5. ALL PORTLAND CEMENT S ITEMS OF NON COMPLIANCE REQUIRING REVISION, REDESIGN, ETC., TO COMPLY WITH HIGH WIND 4 FLOODING REQUIREMENTS AT TIME OF DISCOVERY, DO NOT PROCEED UNTIL ALL ITEMS ARE ADDRESSED BY ARCHITECT & APPROVED BY AGENCY HAVING JURISDICTION.
- XCAVATION NOTE THE CONTRACTOR SHALL VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO EXCAVATION & START OF CONSTRUCTION, CONTACT ARCHITECT IMMEDIATELY IF WATER IS PRESENT DURING EXCAVATION,
- THE CONTRACTOR SHALL OBSERVE WATER CONDITIONS AT THE SITE AND TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT THE FOUNDATION EXCAVATIONS REMAIN DRY DURING CONSTRUCTION. ANY SHEETING OR SHORING REQUIRED FOR DEWATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- OUNDATIONS EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND 3, INSTALL TEMPORARY BRACING REQUIRED INSURING STABILITY OF ALL WALLS DURIN UTILITIES AS REQUIRED.
- REMOVE EXISTING VEGETATION, TOPSOIL, AND UNSATISFACTORY SOILS MATERIALS. PROOF ROLL SUBGRADE TO OBTAIN UNIFORMLY DENSIFIED SUBSTRATA PRIOR TO PLACING FILL MATERIAL EVENLY IN 8" 11, GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS THICK (MAXIMUM) LAYERS AND COMPACTING TO REQUIRED DENSITY.
- IF CONDITIONS PROVE TO BE UNACCEPTABLE AT THE BEARING ELEVATIONS SHOWN, THE FOOTING BEARING 12. ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFOR ELEVATIONS MAY NEED TO BE LOWERED BASED ON THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, HIRED BY THE OWNER. FINAL BEARING ELEVATIONS AND BACKFILL RECOMMENDATIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO FIELD MODIFICATION. CONCRETE FOR FOUNDATIONS SHALL BE 13. THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE A POURED ON THE SAME DAY THE SUBGRADE IS APPROVED BY THE GEOTECHNICAL ENGINEER.
- UTILITY LINES SHALL NOT BE PLACED THROUGH/BELOW FOUNDATIONS WITHOUT THE ARCHITECT'S APPROVAL DO NOT BACKFILL AGAINST WALLS UNTIL ALL FORMED SLABS & FRAMED FLOORS ARE IN PLACE & HAVE
- ATTAINED THE SPECIFIED DESIGN STRENGTH. PROVIDE TEMPORARY SHORING WHERE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE NEED TO USE FOUNDATION REBAR AS A GROUNDING ELECTRODE SYSTEM & SHALL INSTALL THE BONDING CLAMP PRIOR TO PLACEMENT OF THE CONCRETE AS PER NJUCC BULLETIN NO. 02-2. 4 ARTICLE 250 OF THE UNIFORM CONSTRUCTION CODE
- CONCRETE SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS IS. THE TESTING AND INSPECTION AGENCY SHALL MONITOR THE PROPORTIONING, MIXING CAST-IN-PLACE CONCRETE FOR STRUCTURAL CONCRETE (ACI-318-93), AND CONSTRUCTED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE.
- CONCRETE IN THE FOLLOWING AREAS SHALL HAVE NATURAL SAND FINE AGGREGATE AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33. TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150. AND SHALL HAVE THE FOLLOWING COMPRESSIVE STRENGTH (FC') AT 28 DAYS: 3,000 PSI PILASTERS / PIERS 3,500 PSI FOOTINGS
- SLABS ON GRADE 4,000 PSI AIR ENTRAINMENT 4% TO 6% IN ALL EXPOSED CONCRETE. MAXIMUM AGGREGATE SIZE SHALL BE 1-1/2" FOR FOOTINGS AND 3/4" FOR WALLS AND SLABS

- EXTERIOR SLABS 0.44
- CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615-85, GRADE 60 SHALL BE ACCEPTED IN LIEU OF THE "5" DESIGNATION REQUIREMENT, HOWEVER, C SHALL BE MET, REINFORCEMENT BARS SHALL NOT BE TACK WELDED, WELDED, HE INDICATED ON THE CONTRACT DOCUMENTS OR APPROVED BY THE ARCHITECT.
- EPOXY COATED REINFORCING STEEL: ASTM A115.

13

25.

- GROUT SHALL BE NONSHRINKABLE GROUT CONFORMING TO ASTM C827, AND SHAL COMPRESSIVE STRENGTH AT 28 DAYS OF 5000 PSI. PREGROUTING OF BASE PLA PERMITTED,
- PROTECTION FOR REINFORCEMENT BARS SHALL FOLLOWS ACI 318-89 SECTION 1.1.
- ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONC SHALL SUPPLY ALL REQUIRED BARS, STIRRUPS OR CHAIRS AS SUPPORT FOR ALI
- THE INSPECTION AGENCY SHALL APPROVE ALL REINFORCING PRIOR TO PLACING BONDING AGENT SHALL BE USED WHERE NEW CONCRETE IS PLACED AGAINST EXI
- ALL INSERTS AND SIFEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE DE DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF FASTENERS WILL NOT SPALL THE CONCRETE AND HAVE THE SAME CAPACITY AS WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS THE CONTRACTOR TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.
- PREPARE CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR. CYLINDERS SH CURED AND STORED. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM CIT
- RETAIN LABORATORY TO PROVIDE TESTING SERVICE. SLUMP PER ASTM C143L AI C231 OR C173, CYLINDER TEGTS PER AGTM C31 AND C39. ONE SET OF SIX (6) CYLI CUBIC YARDS FOR EACH MIX USED. REPORTS OF ALL TESTS TO BE SUBMITTED T
- WELDING OF REINFORCEMENT BARS, WHEN APPROVED BY THE ARCHITECT, SHALL AMERICAN WELDING SOCIETY STANDARD DIJ-94, ELECTRODES FOR SHOP AND FIL REINFORCEMENT BARS SHALL CONFORM TO ASTM A233, CLASS E90XX.
- REPAIR CONCRETE EXHIBITING VOIDS DUE TO SNAP TIES, "HONEY COMBS," ROCK SPALLS OR OTHERWISE DAMAGED SURFACES WITH DRY PACK OR CEMENT GROUT, ADJOINING SURFACES. AT THE DISCRETION OF THE ARCHITECT OR AS QUALIFIED EXCESSIVE HONEYCOMBS OR EXPOSED REINFORCEMENT THAT JEOPARDIZE THE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT FINISHED SURFACES ABRASIONS. NO FIRE SHALL BE ALLOWED IN DIRECT CONTACT WITH CONCRETE. PROTECTION AGAINST INJURIOUS ACTION BY SUN OR WIND. FRESH CONCRETE SHA PROTECTED FROM HEAVY RAIN, FLOWING WATER, AND MECHANICAL INJURY.
- SLUMP TESTS SHALL BE MADE PRIOR TO THE ADDITION OF PLASTICIZERS. CONC TEGT CYLINDERG SHALL BE TAKEN FROM THE HOGE END FOR CONCRETE PLACED
- WATER SHALL NOT BE ADDED TO THE CONCRETE AT THE JOBSITE, IT SHALL BE THE CONTRACTOR TO COORDINATE THE REQUIREMENTS OF THE CONCRETE SUPPL ENSURE PUMPABLE AND WORKABLE MIX WITHOUT THE ADDITION OF WATER AT THE PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF SUBJECT TO THE APPROVAL OF THE ARCHITECT, FOLLOW THE RECOMMENDATION MANUFACTURER FOR PROPER USE OF RETARDANTS AND OTHER ADDITIVES. USE OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED.
- PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. TROWELING OPERATIONS UNTIL THE CONCRETE HAS LOST SURFACE WATER SHEEN (SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH ACI RECOMMENDAT 304-89 FOR GARAGES.
- PROVIDE I DAY CURING IMMEDIATELY AFTER FINISHING USING ONE OF THE FOLLO CONTÍNUOUSLY WATERED BURLAP, WATERPROOF MEMBRANES, SPRAYED-ON LÍQUÍ
- REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR REQUIREMENTS. PROTECT BETWEEN EINIGHING OPERATIONS ON HOT DRY DAYS OR ANY TIME PLASTIC SHR DEVELOP USING WET BURLAP, PLASTIC MEMBRANES OR FOGGING. PROTECT CONC IMES FROM RAIN, HAIL OR OTHER INJURIOUS EFFECTS.
- PROVIDE POUR STOP MATERIAL WHERE NOT INDICATED ON PLAN AS REQUIRED T
- WHEN CONCRETING IS TO BE DONE IN HOT WEATHER CONDITIONS THAT COULD AD PROPERTIES AND SERVICABILITY OF CONCRETE, PREPARATIONS + PROCEDURES SHOULD BE FOLLOWED.
- WHEN CONCRETING IS TO BE DONE IN COLD WEATHER CONDITIONS THAT COULD AN PROPERTIES AND SERVICABILITY OF CONCRETE, REPARATIONS & PROCEDURES C SHOULD BE FOLLOWED.
- CODE REQUIREMENTS FOR CONCRETE MASONRY CONSTRUCTION AND COMMENTARY CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND UNLESS INDICATED B
- DRAWINGS. PROVIDE FULL BED AND HEAD JOINTS. 3. MASONRY UNITS SHALL BE GRADE N, TYPE I, MEDIUM WEIGHT HOLLOW CONCRETE UN ASTM COO. UNITS SHALL HAVE A MINIUM COMPRESSIVE STRENGTH (Fm) OF 1500 PSI SECTIONAL AREA AT 28 DAYS, UNITS SHALL NOT BE INSTALLED PRIOR TO ATTAINING
- CI50, TYPE I. LIME SHALL CONFORM TO ASTM C201 AND MAGONRY CEMENT SHALL
- GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28 DAY COMP 3000 PSI. SLUMP OF GROUT SHALL BE & TO 10 INCHES AND THE MAXIMUM AGGREG (AGGREGATE GRADED TO PRODUCE FINE GROUT IN CONFORMANCE WITH ASTM C478
- HORIZONTAL JOINT REINFORCING: ASTM A82: 9-GAGE TRUSS-TYPE, GALVANIZED. 1. DEFORMED BAR REINFORCEMENT SHALL CONFORM TO ASTM AG15, GRADE 60 4 SHA
- WALLS UNLESS OTHERWISE NOTED. PROVIDE BAR SPACERS & POSITIONERS AS REC LOCATE & STABILIZE REINFORCING DURING GROUTING OPERATIONS. GROUT ALL REIN 8. HOLLOW CONCRETE UNITS BELOW GRADE & SLAB ON GRADE SHALL BE NORMAL WE
- GROUTED SOLID.
- 10. LAP SPLICES FOR DEFORMED REINFORCING BARS SHALL BE 50 BAR DIAMETERS.
- THE INSPECTION AGENCY.
- CONCENTRATED OR OTHER LOADS FROM ABOVE.
- DOORFRAMES, LOUVERS, ETC. AS SHOWN ON THE ARCHITECTURAL DRAWINGS. NOTIFY ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION.
- 14. ALL MASONRY WORK TO BE EXECUTED IN COLD WEATHER SHALL BE IN CONFORMA RECOMMENDATIONS FOR COLD WEATHER CONSTRUCTION FOUND IN THE BUILDING CO MAGONRY STRUCTURES (AC) 530-95/ASCE 5-95/ AND SHALL BE CONSTRUCTED IN SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-95/ASCE 6-95) WITH THE FC ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED A FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED IN ACI 530.1.
- REINFORCING STEEL FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.

	THE CONCRETE SUPPLIER SHALL SUBMIT MIX DESIGNS FOR REVIEW, COMPRESSIVE STRENGTH MUST BE <u>FR.</u> SUBSTANTIATED BY A SUITABLE EXPERIENCE RECORD OR BY THE METHOD OF LABORATORY TRIAL I, BATCHES, THE PERTINENT CRITERIA OF CHAPTER 4 OF ACI 318-89 SHALL APPLY TO THE PROPORTIONING	LUMBER SHALL COMPLY WITH AMERICAN SOFTWOOD LUMBER STANDARD, P.S. 20 (US DEP COMMISSION) 543, I. 19% MOISTURE AT TIME OF DRESSING, STRUCTURAL LUMBER AND FASTENERS SHALL BE ADEQUATELY	
	OF MIX DESIGNS AND TO THE ACCEPTANCE OF CONCRETE PRODUCED FOR THE JOB. IF DURING CONSTRUCTION ANY CLASS CONCRETE FAILS TO MEET THE ACCEPTANCE CRITERIA, THE CONTRACTOR SHALL TAKE SUCH STEPS AS ARE DEEMED NECESSARY BY THE ARCHITECT TO IMPROVE SUBSEQUENT		CLEAN SURFACES THOROUGHLY TO REMOVE ALL DIRT CHALK, OIL, GREAS OTHER SURFACE DEPOSITS TO A SOUND SURFACE. PREPARE IN ACCORDANC SPECIFICATIONS FOR APPLICATION OF FINISH.
	TEST RESULTS AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL ALSO BEAR THE COST OF SPECIAL INVESTIGATION, TESTING, OR REMEDIAL WORK NECESSARY BECAUSE OF EVIDENCE OF LOW 2. STRENGTH OR NON-CONFORMING CONCRETE OR WORKMANSHIP.	INSTALL PRESSURE TREATED LUMBER WHEN IN CONTACT WITH CONCRETE, MASONRY, EXTERIOR, OR GROUND. ³ PRESERVATIVE TREATMENT BY PRESSURE PROCESS: AWPA C2 (LUMBER) AND AWPA C3 (PLYWOOD).	. ALL NAIL OR SCREW HOLES, DENTS & HOLLOW PLACES, JOINTS & CRACKS, SHALL OIL PUTTY, COLORED TO MATCH ADJOINING WORK.
	MAXIMUM WATER/CEMENT RATIOS: FOUNDATIONS 0.50 EXTERIOR SLABS 0.44	EXCEPT THAT LUMBER THAT IS NOT IN CONTACT WITH THE GROUND AND IS CONTINUOUSLY PROTECTED FROM WATER MAY BE TREATED ACCORDING TO AWPA C312 WITH INORGANIC BORON (SBX), WOOD INDICATED ON ⁴ DRAWINGS AS "TREATED" SHALL BE CCA PRESSURE PRESERVATIVE TREATED DOUGLAS FIR ¹ 2 (MINIMUM)	, ALL WALLS TO BE PAINTED SHALL BE TAPED & SPACKLED, & SHALL RECEIVE P OF SPECIFIED COLOR LATEX PAINT BY BENJAMIN MOORE, OR AS SELECTED BY
•	CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615-85, GRADE 60. THE "N" DESIGNATION SHALL BE ACCEPTED IN LIEU OF THE "S" DESIGNATION REQUIREMENT, HOWEVER, OTHER REQUIREMENTS SHALL BE MET. REINFORCEMENT BARS SHALL NOT BE TACK WELDED, WELDED, HEATED OR CUT UNLESS INDICATED ON THE CONTRACT DOCUMENTS OR APPROVED BY THE ARCHITECT. 3.	WITH A RETENTION LEVEL OF A4A LES/CUBIC ET (RATED FOR GROUND CONTACT) AND KILN DRIED AFTER	. ALL WOOD SHALL BE THOROUGHLY CLEANED PRIOR TO THE APPLICATION OF PI FINISH COATS, & SHALL RECEIVE SPECIFIED COLOR OIL BASE STAIN PLUS (3) CO POLYURETHANE VARNISH SATIN FINISH BY BENJAMIN MOORE, OR AS SELECTED E
». ».	WELDED WIRE FABRIC WHEN USED SHALL CONFORM TO ASTM A185. FABRIC SHALL BE SUPPLIED IN FLAT	STRUCTURAL FRAMING SHALL BE #2 HEM FIR (MINIMUM) W/ A MINIMUM FIBER IN BENDING STRESS, MINIMUM FIBER SHEAR STRESS AND MINIMUM MODULES OF ELASTICITY AS REQUIRED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION "DESIGN VALUES FOR WOOD CONSTRUCTION".	UPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT WAS SPILLED, SPLASHEI SURFACES, INCLUDING LIGHT FIXTURES, DIFFUSERS, REGISTERS, SLAB FITTINGS, ET SHALL REMOVE ALL ELECTRICAL SWITCH PLATES & OUTLET PLATES, SURFACE HA PAINTING, PROTECTING & REPLACING SAME WHEN PAINTING HAS BEEN COMPLETE
	GROUT SHALL BE NONSHRİNKABLE GROUT CONFORMING TO ASTM C827, AND SHALL HAVE SPECIFIED	ALL PLYWOOD SHALL BE AMERICAN PLYWOOD ASSOC, (APA) RATED OF THE TYPE AND FOR THE SPANS INDICATED ON THE DRAWINGS.	ALL FLOOR SURFACES SHALL BE PREPARED PER THE MANUFACTURERS' INSTALL TO APPLICATION OF FINISH FLOOR MATERIAL, 4 SHALL BE INSTALLED PER MANUF
		ARCHITECT, DRILLING OF SMALL DIAMETER HOLES THROUGH STUDS OR PLATES FOR ELECTRICAL WIRING 1	IARDWARE FURNISH AND INSTALL ALL HARDWARE AND SADDLES AS REQUIRED.
).		THE ENDS OF ALL WOOD BEAMS OR JOISTS RESTING ON A GIRDER SHALL BEAR NOT LESS THAN 3", OR	. PROVIDE DOOR STOPS, TYPE TO SUIT, FOR ALL DOORS WHERE NECESSARY.
Э.	SHALL SUPPLY ALL REQUIRED BARS, STIRRUPS OR CHAIRS AS SUPPORT FOR ALL BARS. THE INSPECTION AGENCY SHALL APPROVE ALL REINFORCING PRIOR TO PLACING OF CONCRETE.	SHALL BE SUPPORTED BY APPROVED METAL HANGERS, BEAMS OR JOISTS FRAMING FROM OPPOSITE 3 SIDES SHALL LAP AT LEAST 6 INCHES AND BE BOLTED OR NAILED TOGETHER! WHEN FRAMED END TO END THEY SHALL BE SECURED BY METAL TIES OR STRAPS, PROVIDE (2) 2X4 SUPPORT BELOW BOTH ENDS OF ALL DOOR 4 WINDOW HEADERS 4 SHALL BEAR NOT LESS THAN 3"	5. THRESHOLDS AT EXTERIOR DOORS, PROVIDE MANUFACTURER'S STANDARD THRE COORDINATED FOR OPERATING HARDWARE, WITH ANCHORS AND JAMB CLIPS, 4 HIGH, WITH BEVELED EDGES PROVIDING A FLOOR LEVEL CHANGE WITH A SLOPE
•	BONDING AGENT SHALL BE USED WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE. 8. ALL INSERTS AND SLEEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE. DRILLED OR POWDER	ALL DOOR & WINDOW HEADERS & SHALL BEAR NOT LESS THAN 5 BEARING WALLS & POSTS SHALL BE CONSTRUCTED IN SUCH A MANNER TO PROVIDE ADEQUATE SUPPORT FOR ALL MATERIALS USED TO ENCLOSE THE BUILDING & PROVIDE FOR THE TRANSFER OF ALL LATERAL	. WEATHER SWEEPS: MANUFACTURER'S STANDARD WEATHER SWEEP FOR APPLICAT BOTTOMS AND WITH CONCEALED FASTENERS ON MOUNTING STRIPS.
	ALL INSERTS AND SLEEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE. DRILLED OR FOUDER DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF THE ARCHITECT THAT THE FASTENERS WILL NOT SPALL THE CONCRETE AND HAVE THE SAME CAPACITY AS CAST-IN-PLACE INSERTS. WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.	POR ALL MATERIALS USED TO ENCLOSE THE BUILDING & PROVIDE FOR THE TRANSFER OF ALL LATERAL LOADS TO THE FOUNDATION. POSTS & STUDS IN A BEARING WALL ARE STRUCTURAL COLUMNS & SHALL BE LATERALLY SUPPORTED WITH SHEATHING, INTERMEDIATE BRACING, HORIZONTAL BRIDGING, WALL COVERING, AND FLOOR & ROOF CONSTRUCTION. PLACE DOUBLE JOISTS OR SOLID BLOCKING (OF SAME SIZE AS JOISTS) UNDER WALLS ABOVE.	WEATHER STRIPPING: MANUFACTURER'S STANDARD REPLACEABLE WEATHER STR COMPRESSION WEATGER STRIPPING, MOLDED NEOPRENE COMPLYING WITH ASTM MOLDED PVC COMPLYING WITH ASTM D 2281 REQUIREMENTS.
3.	PREPARE CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR, CYLINDERS SHALL BE PROPERLY 10,	ALL JOISTS SHALL HAVE (1) ROW OF BRIDGING AT MIDSPAN (OF SAME SIZE AS JOISTS)	KEYING AND FUNCTION FOR ALL DOORS SHALL BE AS SELECTED BY OWNER. IECHANICAL ELECTRICAL 4 PLUMBING
4.	CURED AND STORED. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM C172. II. RETAIN LABORATORY TO PROVIDE TESTING SERVICE. SLUMP PER ASTM C143L AIR CONTENT PER ASTM C231 OR C173, CYLINDER TESTS PER ASTM C31 AND C39. ONE SET OF SIX (6) CYLINDERS FOR EACH 50 CUBIC YARDS FOR EACH MIX USED. REPORTS OF ALL TESTS TO BE SUBMITTED TO THE ARCHITECT.	ALL EXPOSED WOOD TRIM & ROOF COVERING SHALL BE NAILED SECURELY W/ ALUMINUM, COPPER, ZINC-COATED STEEL OR OTHER APPROVED CORROSION RESISTIVE NAILS IN ACCORDANCE WITH REQUIREMENTS STATED IN THIS SECTION, SHINGLES AND OTHER WEATHER COVERINGS SHALL BE ATTACHED WITH APPROPRIATE STANDARD NAILS OR APPROVED MECHANICALLY BONDING NAILS.	OUNER'S ENGINEERS SHALL PREPARE AND SUBMIT PLANS, RISER DIAGRAMS, CAI EXCEPT AS OTHERWISE INDICATED ON THE DRAWINGS. CHANGES TO ACCOMMOD WORK WITH OTHER WORK OR IN ORDER TO MEET ARCHITECTURAL OR STRUCTURA PERMITTED AND MADE WITHOUT ADDITIONAL COST TO OWNER.
b .	MIXING, TRANSPORTING AND PLACING OF CONCRETE SHALL CONFORM TO ACI 301-89. 12.	FOLLOW TJI MANUFACTURER'S REQUIREMENTS FOR CUTTING HOLES IN WEBS, FLANGES SHALL NOT BE CUT	FOR PURPOSES OF CLARITY, SYSTEM LAYOUTS ARE GENERALLY DIAGRAMMATIC. EQUIPMENT ARE APPROXIMATE, EXACT ROUTING OF SYSTEMS SHALL BE GOVERN
<i>b</i> .		<u>116H CARPENTRY</u> FINISH CARPENTRY SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION OF DOORS AND FRAMES, WINDOWS FINISH HARDWARE AND MILLWORK, AND BE MADE OR INSTALLED IN ACCORDANCE WITH	CONDITIONS AND OBSTRUCTIONS, SYSTEMS REQUIRING MAINTENANCE AND INSPEC ACCESSIBLE, CONTRACTOR SHALL ARRANGE & COORDINATE THE WORK, FURNISH VENTS & FITTINGS TO AVOID CONFLICT WITH OTHER MECHANICAL, PLUMBING & ELE
۱.	REPAIR CONCRETE EXHIBITING VOIDS DUE TO SNAP TIES, "HONEYCOMBS," ROCK POCKETS, AND RUNS, SPALLS OR OTHERWISE DAMAGED SURFACES WITH DRY PACK OR CEMENT GROUT, AND FINISH FLUSH WITH	MEASUREMENT TAKEN ON THE JOB. SCRIBE, MITER AND JOIN ACCURATELY TO CONFORM TO DETAILS. EXPOSED SURFACES SHALL BE MACHINE SANDED, READY FOR FINISHING: ALLOW FOR THE FREE MOVEMENT OF ALL WINDOWS, DOORS AND PANELS, COUNTERSINK ALL NAILS.	STRUCTURAL & ARCHITECTURAL ELEMENTS WITHOUT ADDITIONAL COST TO THE OU CONFLICT ARE ENCOUNTERED THE ARCHITECT SHALL BE NOTIFIED & THE CONTRA RECOMMENDATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL B
	ADJOINING SURFACES. AT THE DISCRETION OF THE ARCHITECT OR AS QUALIFIED BY LAB TESTING,	WHEN THE PROJECT IS COMPLETED, DOORS SHALL NOT BIND, STICK OR BE MOUNTED SO AS TO CAUSE ³ FUTURE HARDWARE DIFFICULTIES, DOOR AND WINDOW FRAMES SHALL BE INSTALLED SQUARE AND PLUMB.	. ALL WORK SHALL BE BY A QUALIFIED, LICENSED SUBCONTRACTOR OF THE PROF 3 YEARS OF EXPERIENCE IN SIMILAR WORK, SUBCONTRACTOR SHALL CHECK AND
3.	CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT FINISHED SURFACES FROM STAINS OR 3. ABRASIONS. NO FIRE SHALL BE ALLOWED IN DIRECT CONTACT WITH CONCRETE, PROVIDE ADEQUATE	FOR DOORS, USE HARDWARE TEMPLATES FURNISHED BY THE HARDWARE MANUFACTURER. BE SURE THAT HINGES ARE SET IN A STRAIGHT LINE TO PREVENT DISTORTION, FINISHED CLEARANCE BETWEEN DOOR AND 4	AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS.
		FRAME SHALL BE $\frac{1}{6}$ INCH, MAXIMUM. PROVIDE ALL NECESSARY PLYWOOD BLOCKING AS REQUIRED TO SUPPORT SHELVING, CABINETRY, ETC.	HVAC SYSTEM WITH ALL HEATERS, RADIATORS, REGISTERS, DUCTWORK & ANY OTH NECESSARY ALL EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR. ALL EXHAUST FAN DISCHARGES & OUTSIDE AIR INTAKES ARE TO BE LOCATED A
Э.	LEST CTLINDERS SHALL BE TAKEN FROM THE HOSE END FOR CONCRETE FLACED BT FUTF.	1 <u>P6ON STRONG-TIE CONNECTORS</u> (UNLESS OTHERWISE NOTED IN THE SIMPSON CATALOG) MATERIALS SHALL BE MANUFACTURED BY THE FOLLOWING ST4ARDS - STEEL SHEET: ASTM A36, ASTM A653, ASTM AIOII!! FASTENERS; ASTM A307, ASTM FI554, ASTM FI667, SAE CI022 (SDS SCREWS)!! STAINLESS STEEL	LOT LINES, OTHER BUILDINGS, EXHAUST FAN DISCHARGES, CHIMNEYS, FLUES, VENT LOADING DOCKS, PLUMBING VENTS, AND ALL OTHER CONTAMINANT SOURCES.
0.	WATER SHALL NOT BE ADDED TO THE CONCRETE AT THE JOBSITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE REQUIREMENTS OF THE CONCRETE SUPPLIER AND PUMPER TO ENSURE PUMPABLE AND WORKABLE MIX WITHOUT THE ADDITION OF WATER AT THE JOBSITE. THE USE OF PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE ARCHITECT. FOLLOW THE RECOMMENDATIONS OF THE		. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES AND ELE OR IMPLIED ON ALL DRAWINGS AND NOTES. THE CONTRACTOR SHALL PROVIDE , FOR ALL TRADES, AS REQUIRED.
1.	MANUFACTURER FOR PROPER USE OF RETARDANTS AND OTHER ADDITIVES. USE OF CALCIUM E CHLORIDE ^{2.} OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED. PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. DELAY FLOATING AND	ALLOWABLE LOADS FOR HANGERS ARE DETERMINED BY A STATIC LOAD TEST RESULTING IN NOT MORE 1. THAN A 1/8" DEFLECTION OF THE JOIST RELATIVE TO THE HEADER, OR EITHER THE LOWEST OF 3 OR AVERAGE OF 6 ULTIMATE LOAD DIVIDED BY 3, OR THE FASTENER ALLOW. LOAD AS DET. BY THE NDS, WHICHEVER IS LOWEST. 8	 OFFSET WALL RECEPTACLES LOCATED BACK TO BACK A MIN, OF 3". ALL SWITCHI LOCATED SIDE BY SIDE TO BE GANGED WITHIN A SINGLE PLATE UNLESS OTHERU PROVIDE GROUND FAULT CIRCUIT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WA IN BASEMENTS, KITCHENS, LAUNDRIES, BATHROOMS, AND AS INDICATED ON PLAN
	TROWELING OPERATIONS UNTIL THE CONCRETE HAS LOST SURFACE WATER SHEEN OR ALL FREE SLAB SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH ACI RECOMMENDATIONS 302-89 AND 304-89 FOR GARAGES.	ALLOWABLE LOADS ARE FOR DOUGLAS FIR-LARCH UNDER CONTINUOUSLY DRY CONDITIONS. ALLOWABLE LOADS FOR OTHER SPECIES OR CONDITIONS MUST BE ADJUSTED ACCORDING TO THE CODE. SEE 9 MANUFACTURER'S CATALOG FOR ADDITIONAL NOTES & REQUIREMENTS.	PLUMBING WORK INCLUDES ALL SUPPLY, WASTE AND VENT PIPING, COMPLETE INS SHUTOFF VALVES FOR EACH FIXTURE GROUP, AND COMPLETE INSTALLATION OF A HEATER IF NECESSARY NATURAL GAS AND PROPANE PIPING INCLUDING SERVIC
2.	CONTINUCUSET WATERED BURLAP, WATERFROOF HET IDRAINES, SFRATED-ON LIQUID HET IDRAINE	BOLTS, SCREWS 4/OR NAILS SHALL NOT BE COMBINED, ALL NAILS SHALL BE COMMON	APPLIANCES AND FURNACES SHALL BE INCLUDED. WASTE PIPING SHALL BE APP PIPING SHALL BE TYPE "K" OR "L" COPPER PIPE.
3.	REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR REQUIREMENTS. PROTECT THE CONCRETE SURFACE ⁵ . BETWEEN FINISHING OPERATIONS ON HOT, DRY DAYS OR ANY TIME PLASTIC SHRINKAGE CRACKS DEVELOP USING WET BURLAP, PLASTIC MEMBRANES OR FOGGING. PROTECT CONCRETE DECK AT ALL TIMES FROM RAIN, HAIL OR OTHER INJURIOUS EFFECTS. 6.	CATALOG, THE CONNECTORS SHALL BE ALLOWED ONE CYCLE BEND, ONE TIME ONLY.	D. TESTING & BALANCING OF ALL SYSTEMS SHALL BE BY AN APPROVED FIRM QUAL BALANCING DISCIPLINES SIMILAR TO THOSE REQUIRED FOR THIS PROJECT. THE E COMPLY WITH ALL CODES, REGULATIONS & STANDARDS
4. 5.	PROVIDE POUR STOP MATERIAL WHERE NOT INDICATED ON PLAN AS REQUIRED TO COMPLETE JOB. WHEN CONCRETING IS TO BE DONE IN HOT WEATHER CONDITIONS THAT COULD ADVERSELY AFFECT THE PROPERTIES AND SERVICABILITY OF CONCRETE, PREPARATIONS & PROCEDURES OUTLINED IN ACI 305R-91	A FASTENER THAT SPLITS THE WOOD WILL NOT CARRY THE ALLOW. LOAD. EVALUATE SPLITS TO DETERMINE	SMART VENT MODEL 1540-510, 16"x8," OUNER SELECTED COLOR, CONSTRUCTION, CODE COMPLIANT, FEMA ACCEPTED, ICC-ES EVA
6.	SHOULD BE FOLLOWED. WHEN CONCRETING IS TO BE DONE IN COLD WEATHER CONDITIONS THAT COULD ADVERSELY AFFECT THE PROPERTIES AND SERVICABILITY OF CONCRETE, REPARATIONS & PROCEDURES OUTLINED IN ACI 306R-88 SHOULD BE FOLLOWED.	IF THE CONNECTION WILL PERFORM AS REQUIRED. DRY WOOD WILL SPLIT MORE EASILY 4 SHOULD BE	, FLOOD PROTECTION: THE VENT DOOR IS LATCHED CLOSED UNTIL CONTACT WITH FLOOD WATER, ENTERING FLOOD WATER LIFTS THE
		BUILT-UP LUMBER (MULTIPLE MEMBERS) MUST BE FASTENED TOGETHER TO ACT AS ONE UNIT TO RESIST THE APPLIED LOAD.	FLOATS WHICH UNLATCH AND ALLOW THE DOOR TO ROTATE OPEN FLOOD WATER TO AUTOMATICALLY ENTER AND EXIT THROUGH TH RELIEVING THE PRESSURE FROM THE FOUNDATION WALLS. CERTIF CLEARANCE IS DEMONSTRATED WITH A 3+DIAMETER OPENING WH
	CODE REQUIREMENTS FOR CONCRETE MASONRY CONSTRUCTION AND COMMENTARY" LATEST EDITION.	FILL ALL FASTENER HOLES WITH FASTENER TYPES AS SPECIFIED IN THE MANUFACTURER'S CATALOG.	IS ACTIVATED.
-	DRAWINGS. PROVIDE FULL BED AND HEAD JOINTS. MASONRY UNITS SHALL BE GRADE N, TYPE I, MEDIUM WEIGHT HOLLOW CONCRETE UNITS CONFORMING TO THE ^{11.}	ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE CATALOG. BOLT HOLES SHALL BE A MIN. OF $\frac{1}{32}$ " & A MAX. OF $\frac{1}{16}$ " LARGER THAN THE BOLT DIAMETER (2005 NDS 11.122).	LOUVERS AS TEMPERATURE CHANGES, NO ELECTRICITY IS REQUI WILL BE FULLY CLOSED AT 35F & FULLY OPEN AT 35F. IN THE EVE INTERNAL FLOATS LIFT TO RELEASE THE FLOOD DOOR TO ROTAT
	ASTM C90. UNITS SHALL HAVE A MINIUM COMPRESSIVE STRENGTH (Fm) OF 1500 PSI ON THE NET CROSS 12.	INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.	THE HYDROSTATIC PRESSURE REGARDLESS OF THE LOUVERSOR
•	MORTAR SHALL CONFORM TO ASTM C210, TYPE M OR S. ALL PORTLAND CEMENT SHALL CONFORM TO ASTM CI50, TYPE I. LIME SHALL CONFORM TO ASTM C201 AND MASONRY CEMENT SHALL CONFORM TO ASTM C3I.		
	GROUT SHALL CONFORM TO ASTM C416 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. SLUMP OF GROUT SHALL BE 8 TO 10 INCHES AND THE MAXIMUM AGGREGATE SIZE SHALL BE 3/8"	ANCHOR BOLT NUTS SHOULD BE FINGER-TIGHT PLUS 1/3 TO ½ TURN WITH A WRENCH. DO NOT USE AN IMPACT WRENCH TO TIGHTEN NUTS ON THE ANCHOR BOLTS. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD ONLY BE MADE BY A QUALIFIED DESIGNER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION	
•	HORIZONTAL JOINT REINFORCING: ASTM A82: 9-GAGE TRUSS-TYPE, GALVANIZED. DEFORMED BAR REINFORCEMENT SHALL CONFORM TO ASTM AGIS, GRADE 60 4 SHALL BE FULL HEIGHT OF WALLS UNLESS OTHERWISE NOTED. PROVIDE BAR SPACERS 4 POSITIONERS AS REQUIRED TO PROPERLY LOCATE 4 STABILIZE REINFORCING DURING GROUTING OPERATIONS. GROUT ALL REINFORCED CELLS SOLID.	RUGLIFIED DESIGNER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURE 15 THE SOLE RESPONSIBILITY OF THE DESIGNER. RUG JOIGT (OR APPROVED EQUAL): THESE PRODUCTS SHALL BE DESIGNED AND MANUFACTURED TO THE STANDARDS SET FORTH IN THE ICC	
5.	HOLLOW CONCRETE UNITS BELOW GRADE & SLAB ON GRADE SHALL BE NORMAL WEIGHT & HAVE ALL CELLS GROUTED SOLID.	EVALUATION SERVICE, INC. REPORT ESR-1381. ADHESIVES SHALL BE OF THE WATERPROOF TYPE CONFORMING TO THE REQUIREMENTS OF ASTM D-2559.	
		ALL STRUCTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND ANY ILEVEL TRUS JOIST DRAWINGS AND INSTALLATION INSTRUCTIONS, TEMPORARY CONSTRUCTION LOADS THAT CAUSE STRESSES	
	LAP SPLICES FOR DEFORMED REINFORCING BARS SHALL BE 50 BAR DIAMETERS. GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY	BEYOND DESIGN LIMITS ARE NOT PERMITTED. SAFETY BRACING IS TO BE PROVIDED BY THE INSTALLER TO KEEP THE STRUCTURE STRAIGHT AND PLUMB AS REQUIRED AND TO ASSURE ADEQUATE LATERAL SUPPORT FOR THE INDIVIDUAL STRUCTURE MEMBERS AND THE ENTIRE SYSTEM.	
	ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFORE IMPOSING	<u>ATT AND BOARD INSULATION</u> BATT INSULATION SHALL BE FIBERGLASS W/ FOIL FACE, THE WIDTH OF FRAMING SPACING, 4 THE THICKNESS 4 R-VALUE AS INDICATED ON THE DRAWINGS, APPROVED MANUFACTURERS SHALL BE CERTAINTEED CORP.	ENERGY CA
3.	CONCENTRATED OR OTHER LOADS FROM ABOVE. THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE ADEQUATE TO ACCEPT DOORFRAMES, LOUVERS, ETC, AS SHOWN ON THE ARCHITECTURAL DRAWINGS, NOTIFY THE ARCHITECT OF	MANVILLE CORP., AND OWENS-CORNING FIBERGLASS CORP.	PER THE UNIFORM CONST 5:23-2.15 (F)1.VI (ENERGY CONST
ŀ,	ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION. ALL MASONRY WORK TO BE EXECUTED IN COLD WEATHER SHALL BE IN CONFORMANCE WITH THE	FOLLOWING: LEAVE NO GAPS IN INSULATION ENVELOPE INSTALL BETWEEN JAMBS AND FRAMING, BEHIND PLUMBING AND WIRING. Inform Board	ARE REQUIRED TO DEMO THE ENERGY SUBCODE & CONSERVATION CODE (IE
	RECOMMENDATIONS FOR COLD WEATHER CONSTRUCTION FOUND IN THE BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (ACI 530-95/ASCE 5-95) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-95/ASCE 6-95) WITH THE FOLLOWING ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES F, THE TEMPERATURE OF THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED ABOVE 32 DEGREES F FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED IN ACI 530.1.	ALL GYPSUM BOARD ON WALLS AND CEILINGS SHALL BE 1/2 INCH THICK WITH TAPERED EDGES AND PAPER FACING SUITABLE FOR PAINTING. FASTEN WITH 1-5/8 INCH BUGLE HEAD SCREWS, TYPE W AT I INCHES ON CENTER MAXIMUM. PROVIDE AND INSTALL MFR'S STANDARD METAL TRIM ACCESSORIES OF THE BEADED TYPE WITH FACE FLANGES FOR CONCEALMENT IN JOINT COMPOUND. CORNER BEADS AT ALL EXTERIOR CORNERS. JOINT COMPOUND SHALL BE AS RECOMMENDED BY THE GYPSUM BOARD MANUFACTURER. PROVIDE WATER RESISTANT BOARDS THROUGHOUT RESTROOMS.	APPLICATION PROCESS F BUILDING OR ADDITION. T CLIMATE ZONE 4, COMPLI PACKAGE OPTION NO.4, E
	THE TESTING AND INSPECTION AGENCY SHALL MONITOR THE PROPORTIONING, MIXING, AND CONSISTENCY OF 2. MORTAR AND GROUT! THE PLACEMENT OF MORTAR, GROUT, AND MASONRY UNITS! AND THE PLACEMENT OF REINFORCING STEEL FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.	INSTALL GYPSUM BOARD IN LENGTHS AND DIRECTIONS WHICH WILL MINIMIZE THE NUMBER OF END JOINTS AND AVOID JOINTS IN THE CENTRAL AREA OF THE CEILING, JOINTS AT THE BOTTOM OF ALL WALLS SHALL BE CAULKED WITH A LATEX CAULK FOR SOUND ISOLATION.	WOOD FRAMED CONSTRU 2015 IEC CODE CHAPTER
	3.	APPLY JOINT TAPE AND JOINT COMPOUND AT JOINTS OF GYPSUM BOARDS IN BOTH DIRECTIONS, APPLY COMPOUND AT ACCESSORY FLANGES, PENETRATIONS, FASTENER HEADS AND SURFACE DEFECTS. INSTALL COMPOUND IN 3 COATS (PREFILL CRACKS AS RECOMMENDED BY MFR.)! SAND AFTER LAST 2 COATS AND PREPARE SURFACE FOR PAINTED FINISH.	FENESTRATION (U) CEILING (R) WALL (R) FLOOR (R) HEIGHT OF UNCOMPR EXTENDS OVER THE

EAVES"

H MATERIALS ASE, LOOSE PAINT OR ANCE WITH MANUFACTURERS new residence for: ALL BE FILLED WITH LINSEED HILLIARD E PRIMER PLUS TWO (2) COATS BY THE OWNER. PRIMING OR STAINING 4 CONSTRUCTION COATS OIL BASE D BY THE OWNER. CHED OR SPLATTERED ON ETC. PAINTING CONTRACTOR 289 BAY AVENUE HARDWARE, ETC. BEFORE LL HIGHLANDS, NEW JERSEY ALLATION INSTRUCTIONS PRIOR S, Block 81, Lot 12.01 ANUFACTURERS' INSTRUCTIONS. DESIG] CODE CONFORMANCE HRESHOLD WITH CUTOUTS PS, 4 NOT MORE THAN 1/2" INCH OPE OF NOT MORE THAT 1:2. BUILDING STATISTICS ER USE GROUP: R 5 CATION TO EXTERIOR DOOR CONSTRUCTION TYPE: $\vee B$ IMM ZONING: R201 STRIPPING AS FOLLOWS: 5TM D 2000 REQUIREMENTS OR BUILDING STATISTICS: GRADE LEVEL AREA: 819 S.F. GR 5 PROPOSED) (| FLOOD VENT/200 S.F. 762 S.F. FIRST FLOOR AREA: SECOND FLOOR AREA 736 S.F. CALCULATIONS, AND DETAILS, TOTAL LIVING AREA: 2,317 S.F. IODATE INSTALLATION OF THIS JRAL CONDITIONS SHALL BE 24,7657 S.F VOLUME: TIC. LOCATION OF SYSTEMS 4 ERNED BY STRUCTURAL PECTION SHALL BE READILY APPLICABLE CODES NIGH NECESSARY OFFSETS INTERNATIONAL RESIDENTIAL CODE, NJ ED 2015 ELECTRICAL SERVICES, INTERNATIONAL MECHANICAL CODE 2015 OWNER. IF AREAS OF NATIONAL STANDARD PLUMBING CODE 2015 TRACTOR'S . BEFORE WORK 19 BEGUN. 2014 NATIONAL ELECTRIC CODE Ţ Ē 2015 INTERNATIONAL FIRE CODE ROPER TRADE WITH AT LEAST 2015 • INTERNATIONAL ENERGY CONS. CODE AND VERIFY UNIT CAPACITIES SF ADDITIONAL STANDARDS: NH RA NING, BALANCED & TESTED THIS PROPERTY IS IN THE FEMA FLOOD ZONE 'AE' & OTHER ACCESSORIES IS DESIGNED PER THE REQUIREMENTS OF THE ОнС INTERNATIONAL RESIDENTIAL CODE, 2015 NJ EDITION ŨΖΨ $\overline{\mathbf{O}}$ A MINIMUM OF 10'-O" FROM (IRC) SECTION R322.2 'FLOOD HAZARD AREAS, ENTS, PARKING AREAS, INCLUDING A ZONES' SI GL 2. PROPERTY SHALL BE IN CONFORMANCE ELECTRICAL WORK AS SHOWN W/APPLICABLE DESIGN & CONSTRUCTION ~ DE ALL TEMPORARY LIGHTING STANDARDS OF THE FLOOD HAZARD AREA CONTROL ACT N.J.S.A. 58:15A-50 ET. SEQ., \$ IMPLEMENTING RULES AS N.J.A.C. 7:13 CHES AND/OR DIMMERS 3. FLOOD VENTS SHALL CONFORM W/STANDARD 44 ERWİSE NOTED. CFR PART 60 AND FEMA TECHNICAL BULLETIN I WATER SOURCE IN GARAGES, 4. DECK, STAIRS, RAMPS AND EQUIPMENT SHALL AN (GFI OR GFCI) CONFORM W/THE REQUIREMENTS OF THE FEDERAL INSTALLATION OF FIXTURES, FLOOD REDUCTION STANDARD 44 CFR PART 60 OF ANY REQUÍRED HOT WATER AND FEMA'S TECHNICAL BULLETIN 5 IVICE CONNECTION TO ALL GAS ALL MATERIALS INSTALLED BELOW THE DESIGN PPROVED PVC, SUPPLY FLOOD ELEVATION SHALL BE CONSTRUCTED OF FLOOD RESISTANT MATERIALS IN ACCORDANCE UALIFIED IN THOSE TESTING 4 W/THE INTERNATIONAL RESIDENTIAL CODE, NJ ED THE BALANCING FIRM SHALL 2015, IRC 322.1.8 & THE NATIONAL FLOOD INSURANCE PROGRAM 6. CONTRACTOR SHALL CONFORM TO THE STANDARDS/ SPECIFICATIONS SET FORTH IN THE R, ALL STAINLESS STEEL, \sim VALUATED NEW JERSEY RREM PROGRAM "MINIMUM HOUSING REHABILITATION STANDARDS," LATEST ED, IF PER VENT APPLICABLE TO THIS PROJECT NTIL IT COMES IN HE PATENTED INTERNAL NOTIFY ARCHITECT IMMEDIATELY, IF THESE DRAWINGS PEN. THIS ALLOWS THE DEVIATE FROM THE REQUIREMENTS SET FORTH IN THE THE FRAME OPENING LATEST CODES & STANDARDS TIFIED FLOOD DEBRIS WHEN THE FLOOD DOOR \cap ES THE VENTILATION K QUIRED, THE LOUVERS VENT OF A FLOOD THE TATE OPEN & RELIEVE POSITION. ENUJ S, NH DRAWING INDEX CS-1.0 COVER SHEET, CODE CONFORMANCE, HIL GENERAL NOTES & SPECIFICATIONS Y AV ANI GRADE LEVEL & FIRST FLOOR PLANS, NOTES A-1.0 AΥ PLUMBING RISER DIAGRAM 1GF A-I.I SECOND FLOOR & ROOF PLANS, SCHEDULES A-2.0 ELEVATIONS A-3.0 DETAILS A-3.I DETAILS FASTENING SCHEDULE A-3.2 ALCULATIONS ELEVATION INFORMATION **ELEVATIONS** STRUCTION CODE N.J.A.C. FLOOD ZONE: AE Y CALCULATIONS), APPLICANTS PROPOSED GARAGE: 6.0' 10NSTRATE COMPLIANCE WITH PROPOSED FINISHED FLOOR: 15.0' & 2015 INTERNATIONAL ENERGY (UTILITIES SHALL BE NO LOWER (IEC) AS PART OF THE PERMIT THAN THIS ELEVATION) 5 FOR A NEWLY CONSTRUCTED BASE FLOOD ELEVATION (BFE): ||O|THIS PROJECT, LOCATED IN NAVD88 BFE ELEVATION DATUM: PLIES WITH THE PRESCRIPTIVE , BULLETIN NO. 11-1, AS FOLLOWS: ALL AREAS BELOW THE FINISHED FLOOR SHALL BE FOR STORAGE ONLY RUCTION ER 4 REQUIRED PROPOSED PERMIT SET 0.35 </= *0*.32 49 / 38* 38 * 20 CS-IR-38 "WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE 10.28.19 19-71

EXTERIOR STAIR STRINGERS TO SIT ON 4"-CONCRETE SLAB W/ 6×6 WI.4×WI.4 WWF @ -1" FROM T.O.S., ON 4" CRUSHED STONE ON 95% COMPACTED FILL, PITCH SLAB 1/2" PER FOOT AWAY FROM STAIRS (TYP. FRONT & REAR STAIRS

CROSS BRACE (CB, TYP.)-

P.T. 2×6, EACH SIDE OF CB (TYP.)

PLACE FOOTING & POST @ MIDSPAN OF STAIR-

PT (2) 2×8-

P.T. 2X10 LEDGER BOARD SECURED TO RIM. BOARD W/ 3%" "LEDGERLOKS" OR TO MASONRY W/2"X8" SIMPSON TITEN HD FASTENERS @ 8" OC, STAGGERED, 4" (MIN.) FROM ENDS & 2" (MIN.) FROM EDGE, USE SIMPSON LUS FACE MOUNT JOIST HANGERS

SIMPSON DECK TENSION TIES DTT2Z (1,500/b-MÍN, ALLOWABLE STRESS DESÍGN) BETWEEN EXTERIOR & INTERIOR JOISTS, OR 2X12 (MIN.) SOLID BLOCKING, 24" (MAX) FROM EACH END, (2 MÍN.) PER DECK ((4) DTTÍZ - 150/6 MÍN. MAY BE USED IN LIEU OF DTT2Z)

SMART VENT (TYP. - 1 PER 200 S.F.) @ 12' (MAX.) ABOVE THE FINAL INTERIOR GRADE IMMEDIATELY UNDER EACH OPENING (SEE COVER SHEET)

24"WX12"D CONTINUOUS CONCRETE FOOTING 10" CMU FOUNDATION WALL

P.T. (2) 2×8 SILL PLATE ABOVE SET ON -POLYETHYLENE FOAM GASKETING SILL SEALER STRIP (DASHED)

4" GARAGE CONCRETE SLAB W/ 6x6 WI4xWI4 -WWF @ -1" FROM T.O.S., ON 4" CRUSHED STONE ON CLEAN 95% COMPACTED FILL, TAMP IN 6" LIFTS TO 1.5 TON/S.F. (MIN.) BEARING CAP. TO MATCH OR BE HIGHER THAN EXTERIOR FINISHED GRADE, PITCH SLAB 1/2" PER FOOT TOWARD GARAGE DOOR, PROVIDE I"D CONTROL JOINTS @ 1205.F. INTERVALS (MAX.)

8"X16" PILASTER, FILLED SOLID (TYP. OF 5)-

BOARD W/ 3%" "LEDGERLOKS" OR TO

MAY BE USED IN LIEU OF DTT2Z)

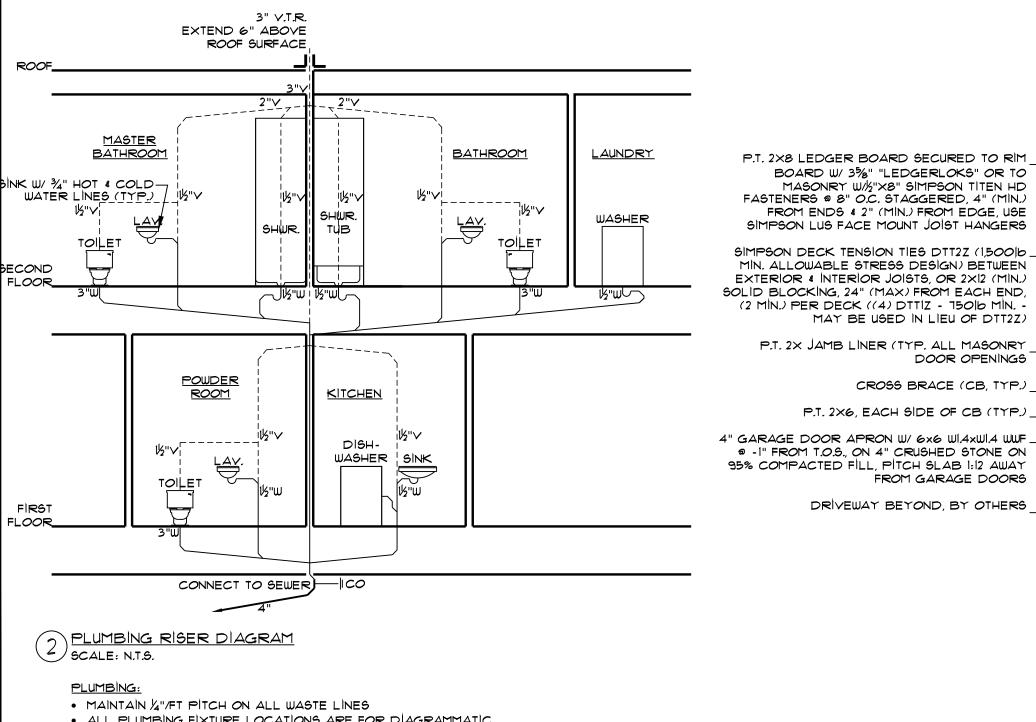
P.T. 2×6, EACH SIDE OF CB (TYP.)_

DRIVEWAY BEYOND, BY OTHERS

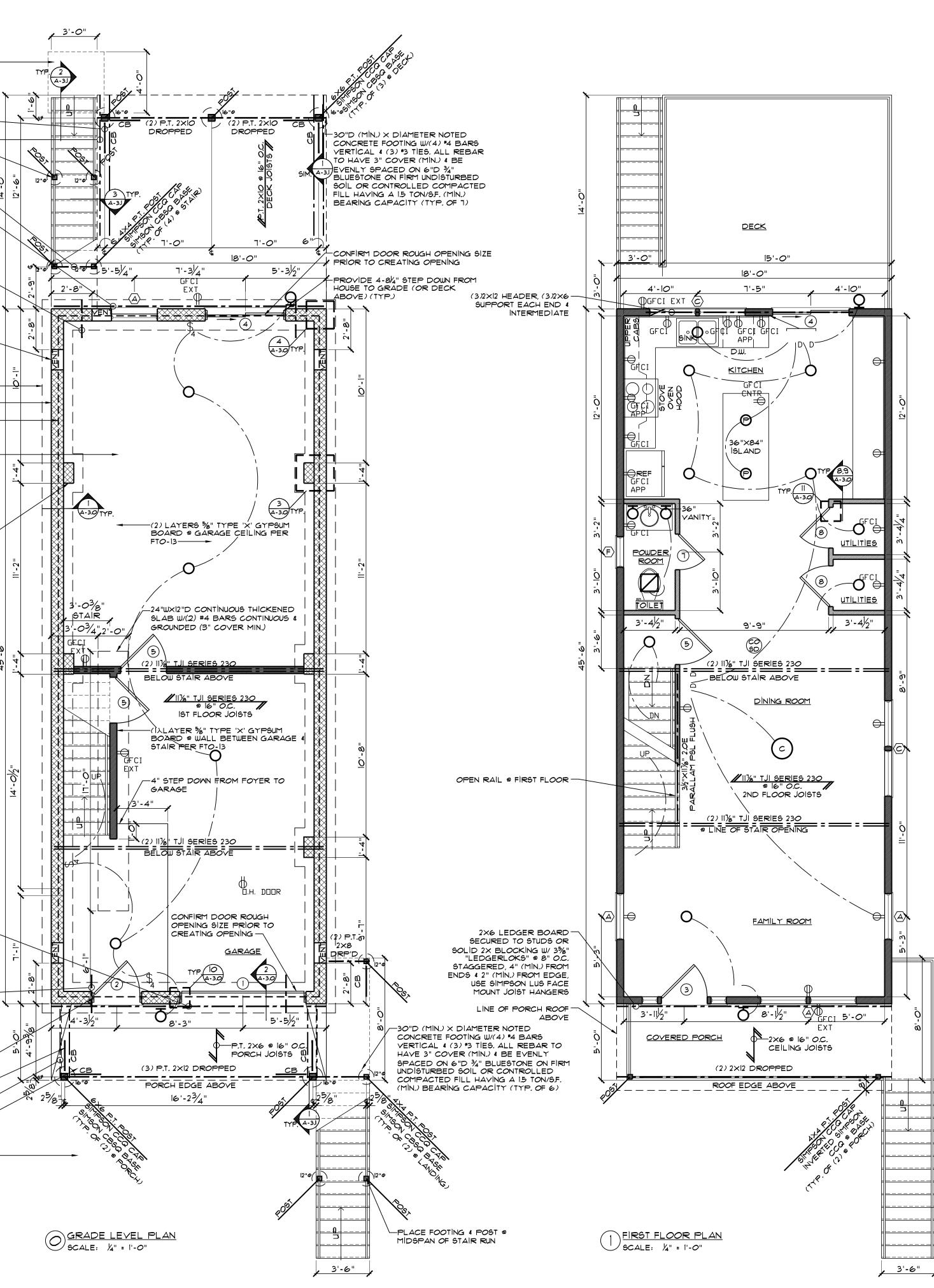
DOOR OPENINGS

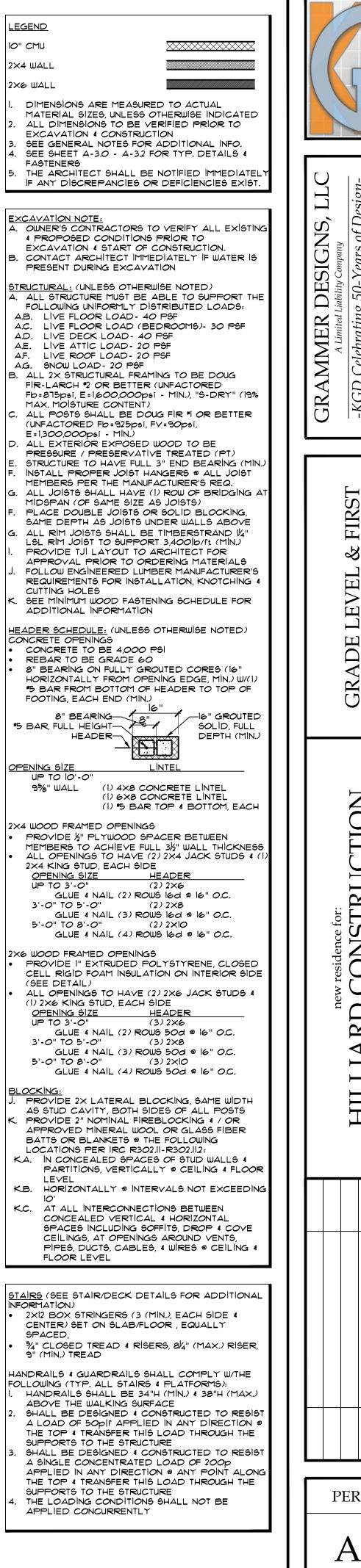
CROSS BRACE (CB, TYP.)

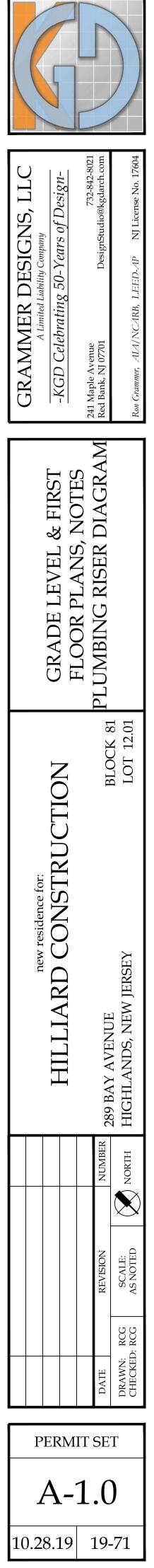
FROM GARAGE DOORS



 ALL PLUMBING FIXTURE LOCATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNER'S PLUMBING CONTRACTOR TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION.







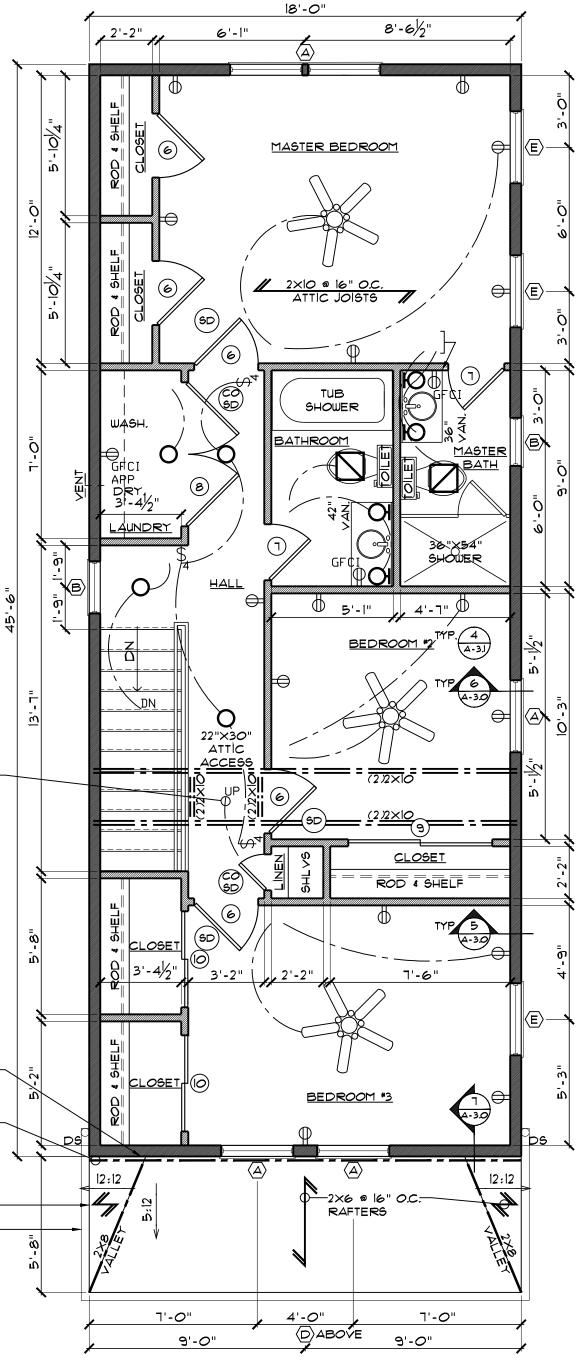
GRADE LEVEL	LOOR	PS	1	ل ـ ا
GRADE LEVEL	–	ß	MALL	CEILING
				-
GARAGE FOYER	F3 F2	- B1	ωı ωι	C1 C1
	F2			
PORCH	-	-	-	C2
FAMILY ROOM	F1	ві	ωı	CI
DINING ROOM	F1	ы	ωı	CI
KITCHEN	F1	ві	ωı	CI
	F2	BI	ωı	C1
UTILITIES SECOND FLOOR	F2	ВІ	μ	C1
MASTER BEDROOM	F1	ві	ωı	CI
MASTER BATHROOM	F2	ві	ωı	CI
CL <i>O</i> SET	F1	ы	ωı	CI
CLOSET	F1	ві	ωı	CI
BEDROOM #2	F1	BI	WI	Cl
CLOSET BEDROOM *3	F1 F1	BI BI	ωı ωι	C1
		ві		
	F2		ω. wi	
BATHROOM	F2	ві	ωı	CI
	F1	Bl	ωı	CI
 WALL WI - TAPED, SPACKLED, SANI PRIMER (2)COATS LATEX PA CEILING CI - TAPED, SPACKLED, SANI PRIMER (2)COATS LATEX PA C2 - PVC BEADBOARD G. CABINET, COUNTERTOP, APPLIANCE STYLES, FINISH & LAYOUT AS DETER OWNER (TYPICAL OF KITCHEN, BATH LAUNDRY) H. FOLLOW MANUFACTURER'S INSTRUCT APPLICATION OF ALL FINISH MATER I. CLEAN SURFACES THOROUGHLY TO DIRT, CHALK, OIL, GREASE, LOOSE OTHER SURFACE DEPOSITS TO A S SURFACE, PRIOR TO APPLICATION J. PROVIDE ROD, HOOKS & SHELVES 	INT, E DED, F INT, F E 4 FIE FRO RALE PAIL PAIL PAIL PAIL PAIL PAIL PAIL PAIL	:GG: (1) :LAT XTU ED XTU ED OMS 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0		LL
ALL EXISTING & PROPOSED CONDI TO DESIGN & CONSTRUCTION B. ALL ELECTRIC ON CMU SHALL BE I INTERNET/DATA/TELEPHONE (OWNI 				
FLOOR LINE ALONG ALL WALL Q WALL MOUNTED LIGHT (OWNER SEI CEILING MOUNTED LIGHT SURFACE RECESSED (OWNER SELECTED) PENDANT (OWNER SELECTED) C CHANDALIER (OWNER SELECTED) BATHROOM MECHANICAL EXHAUS		.IGH	IT	
COMBINATION CARBON MONOXIDE	e / S Wirei	M0* D,		IS)
(SD) DETECTOR (WIRELESS OR HARD- INTERCONNECTED, BATTERY BACK (SD) SMOKE DETECTOR (WIRELESS OR	н⊿⊨	۱۰	uìee	D

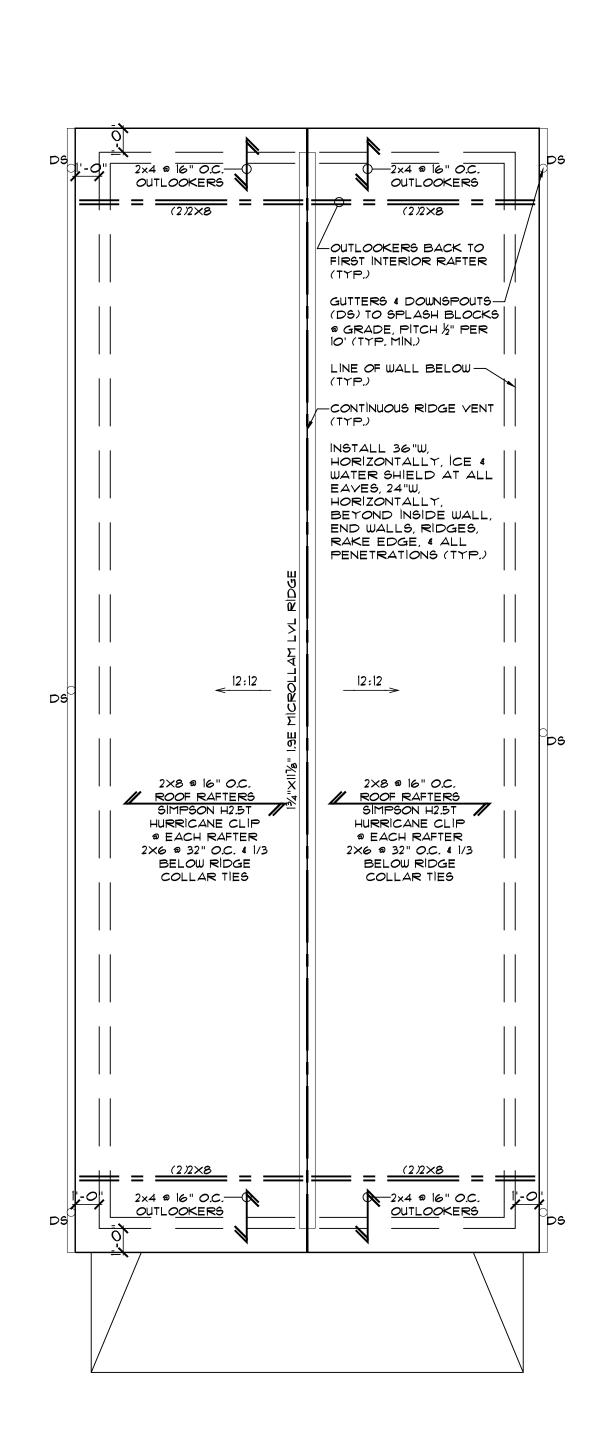
PROVIDE 12"H (MIN.) STEPPED FLASHING OVER-ICE-AND-WATER SHIELD @ ROOF/WALL INTERSECTION, & SHED ROOF VENT (TYP.)

2×8 LEDGER BOARD SECURED TO STUDS OR -SOLID 2× BLOCKING W/ 3%" "LEDGERLOKS" @ 8" O.C. STAGGERED, 4" (MIN.) FROM ENDS 4 2" (MIN.) FROM EDGE, USE SIMPSON LSU SKEWABLE FACE MOUNT JOIST HANGERS

LINE OF PORCH ROOF BELOW-GUTTERS & DOWNSPOUTS (DS) TO SPLASH-BLOCKS @ GRADE, PITCH ½" PER 10' (TYP, MIN,)

INSTALL 36"W, HORIZONTALLY, ICE 4 WATER SHIELD AT ALL EAVES, CENTERED ON HIPS, 24"W, HORIZONTALLY, BEYOND INSIDE WALL, END WALLS, RAKE EDGE, 4 ALL PENETRATIONS (TYP.)

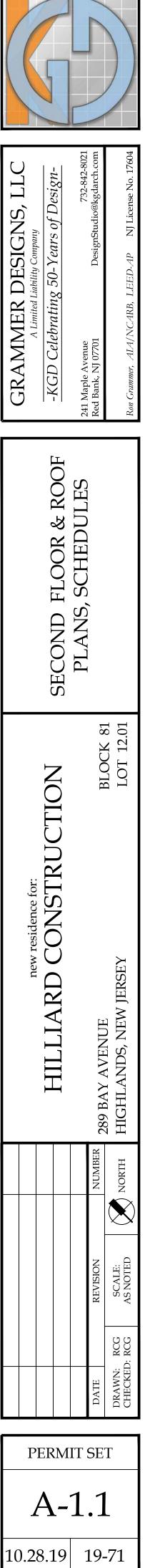


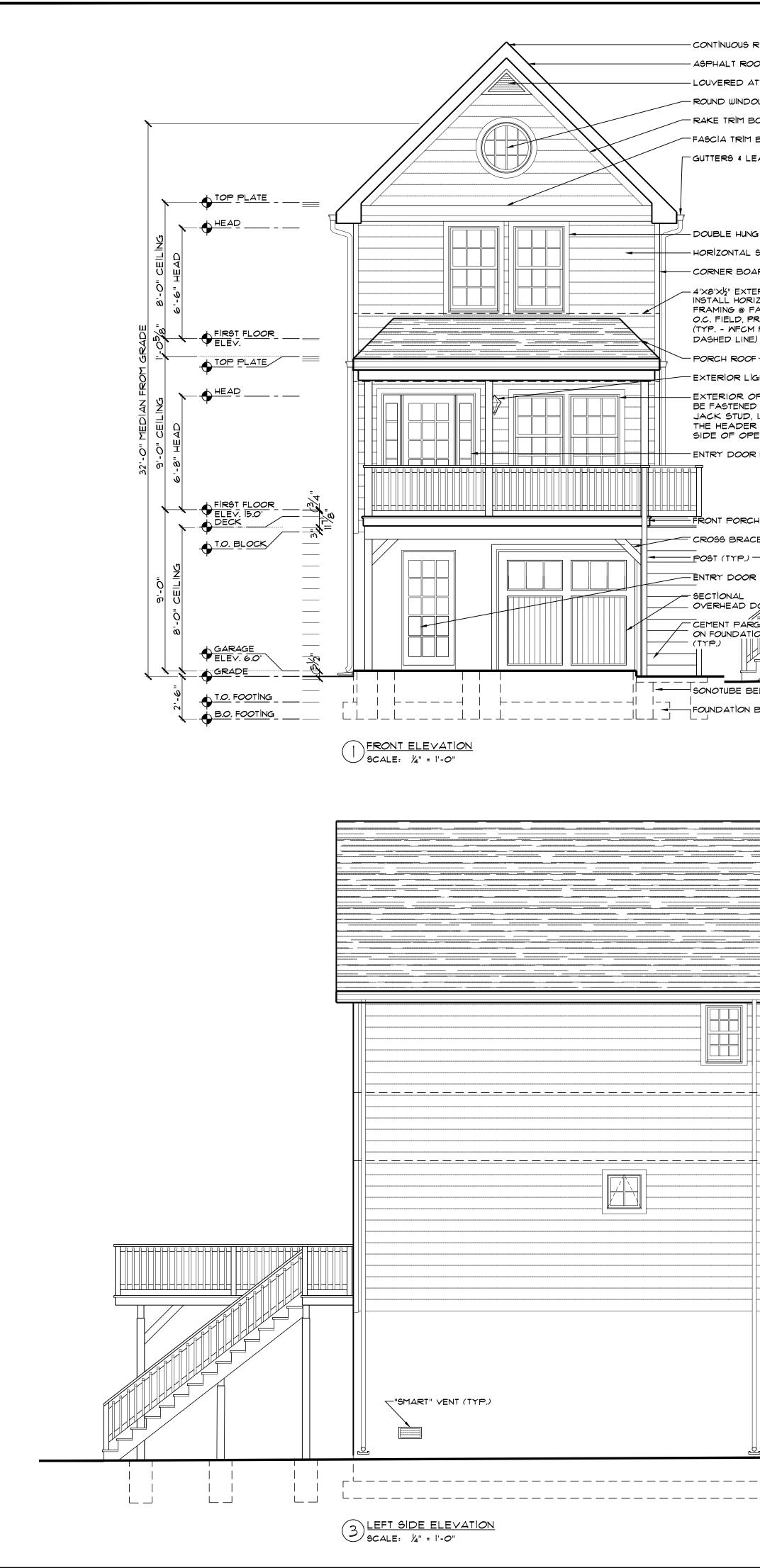


SECOND FLOOR PLAN 5CALE: 1/-0"

2 ROOF PLAN SCALE: 1/4" = 1'-0"

0" СМІ X4 ША	LL													
20 0× Dir		510r	15 A	RE	ME		RED		AC	TUA				
MA' ALI	ter _ Di	IAL Men	SIZE NSIO ON	Ξ5, ι NS -	JNLI TO I	ESS BE \	OTH VER		WISE	E INC	Dic,		D	
. SEE . SEE	E GE E Sh	NE	RAL F A-	NO	TES	FOF	R AI	DDÌ						
. THE		КCH	D ITEC DCRE											Y
OOR	601				D A			ĒD						
JBMÍT D OWN	SHO	2P	DR4	AWIN	GS	FOR	R AF	PPR	074	۹L				
0.	1	2	Ts W	2" (A	5	6	1	8	Ō	0 5				_
(HXM)	"0-'LX"0-'8	3'-0"X6'-8'	3'-0"X6'-8" ?) 12" SÌDELT9	۱۲@X	0"×6'-8	8"X6'-8"	2'-4"X6'-8"	2'-8"X6'-8"	0"X6'-8	2'-0"X6'-8				
Э.	8'-O	<u>%</u> 10"	3'-0" 2) [2"	4'-11⁄4"'X6'-7½"	۳. •0	2-8	2-4"	2-8"	2) 3'-0	2) 2'-0				
	IAL	ž			AGE AGE	ų	ų	Δü		ا ٽ ا				
	ECTIONAL	EXT, ENTRY	EXT. ENTRY	EXT. GL IDING	INT, GARAGE	INT, SWING	INT, SWING	INT, SWING LOUVERED	, sliding	, sliding				
THR TRPD	¥ €	ـــــــــــــــــــــــــــــــــــــ	й т	.× ⊒ ≻	Z Y	∠ N	∠∠ N	L Y N	Z NT,	NT.				_
DTES: SEC							2					(1)	
9	08, 1 5AME	and E, Pe	SHA R IR	NLL N RC R	1609 1009	г тне .4	E AC	CEP	TAN					
A.B. F A.C. F FAG	ULL	PEF	SIME.	TER	WE⊿	THE	2 97F	sipp	ÌNG	TPY		רים <i>ו</i>	<u></u>	
EAG 3.A. F 3.B. F	ULL	PEF	SIME.	TER	WE⊿	THE	RSTR	RIPP	İNG	IKŤ	200	∠~ (<i>4</i>)	
EAG W/L C.A. F	2" 5	DEL	IGHT.	'S, E.	ACH	SID	E			TRY	DOC	OR (3	
C.B. F . AND	PANE ERSI	EN F	TYLE RENG	: SEL CHMO	-EC1 000	ED I	BY C DING	OWNE	R TIO	DOC	R	(4	
D.A. F D.B. L D.C. (. <i>O</i> W	E4 1	IEMF	PERE	DG	LAS	6			CRE	ENS		-	
INTE I E.A. F			SIME.	TER	WE⊿	THE		Ripp		<u> </u>	. ~-		5	1
E.B '		" ~~	· · · · · · · · · · · · · · · · · · ·	e		יייש	OP	12/		مل ا جر س				
۲	3/8 10NE	400	OMB	STEE	ΞL									
PRO DOC EXTE	3/8 HONE DVIDE DR S ERIO	YCC E E> IYLI R 4	OMB (TEN) E 4 T INTE	STEE SION RIM RIOF	EL I JAN AS R Do	186, Sele		REQ D B	UIRE	D WNEF	2		s	
PRO DOC EXTE SELE CEN FRO	3/8 HONE DR 5 ERIC ECTE TER M PE	YCC E E> IYLE R 4 D E DOC RPE	CMB E 4 T INTE 37 O CRS ENDI	STEE SION RIM RIOF WNEF ON U	EL AS R Do R Do R Do R Do R Do R Do NALL	185, Sele Cor LS, W Vall	AS ECTE HAF	REQ DB RDWA	UIRE Y O ARE DSSI	D WNEF 4 KE	r Eyin	GΔ	9	
PRO DOC EXTE SELE CEN FRO SEE NST. OF T	3/8 HONE ERIC ERIC ECTE TER PLA ALLA	TYCE TYLE R 4 DOC RPE NG F NG F NG F ATIO	CTEN: E 4 T INTE STO CRO ENCE N SH RAW	STEE SION RIOF WNEF ON U SWIN IALL NGS,	EL AS RDC VALL AR U IG 4 COI	1BS, SELE COR _S, W JALL DOC NFOR	AS ECTE HAF HER HER F	REQ EDB RDWA E PC IAND IAND IAND	UIRE ARE DSSI MER	ED WNEF 4 KE BLE, EQUI		G A 3" 1EN1		
PRO DOC EXTE SELE CEN FRO SEE NST	3/8 HONE ERIC ERIC ECTE TER PLA ALLA	TYCE TYLE R 4 DOC RPE NG F NG F NG F ATIO	CTEN: E 4 T INTE STO CRO ENCE N SH RAW	STEE SION RIOF WNEF ON U SWIN IALL NGS,	EL AS RDC VALL AR U IG 4 COI	1BS, SELE COR _S, W JALL DOC NFOR	AS ECTE HAF HER HER F	REQ EDB RDWA E PC IAND IAND IAND	UIRE ARE DSSI MER	ED WNEF 4 KE BLE, EQUI		G A 3" 1EN1		
PRO DOC EXTE SELEN GEE NGT OF T MAN	3/8 HONE DR SOCIEL ELL PLA HEAC	YCC E E> TYLE R 4 DOC R FI DOC R FI DOC R FI DOC R FI DOC R FI DOC R FI DOC R FI DOC R FI DOC R FI S TUR		STEE SIDN RIOF UNCLASS SPI	EL I JAN AS R DA UALLU IG 4 COLF	1BS, SELE DOR JALL DOC NFOR ICAT	AS ECTE HAR HER DR HER EDE IONS		UIRE ARE DSSI HE R NOTF		REMENSION	G A 3" 1EN1		
PRO DOCT EXELE SELEN FRO SEE NGT MAN	3/8 DESOLER PLA				EL I JAN R R DA JALLU G COUF ECIF	189, ULL SOR JALLO DOFRCAT	AS ECTER LITER HER LITER					G A 3" 1EN1		
PRO DOCC EXTE SELE CENO SEE INST. OF T MAN	3/8 DESOLER PLA				EL JAN AR JAS COUF COUF COUF COUF COUF COUF	1890 SALLOOFRAT						G A 3" 1EN1		
HROCOLEXTE BELECENT FREE INST, OF T MAN	3/8 DE SOLTER PELA A DE											G A 3" 1EN1		
HROCO EXTE SELENCE FROID SELENCE FROID SELENCE	3/8 DE SOLTER PELA A DE					1890 SULLOOFRAT						G A 3" 1EN1		
HROCO EXTE SELENCE FROID SELENCE FROID SELENCE	3/8 DE SOLTER PELA A DE											G A 3" 1EN1		
HROCE EXELENCIE SEELNIGE FREE INST, MAN UDOU UDOU O.	3/8 DE SOLTER PELA A DE											G A 3" 1EN1		
	3/8 DE SOLTER PELA A DE											G A 3" 1EN1		
	3/0 VRREET PLALES OG HR H											G A 3" 1EN1		
H PROCEEDING THE SEEN OF THE S	340 VREEDT PALES JOB TO THE E											G A 3" 1EN1 5.		
H PROCE EXELENCIAL FREED	3/0 VRRETER PLALES OF R HV RELIGION SOFT HV RELIGION SOFT HV RELIGION HV RELIGI			「8歳前6倍 8년 DOUBLE HUNG 2'-1%"×3'-4%" (⑪) 井丘原 0.6万万002 2 道道 2 0 → ★★ガ 2 0 100 BLE HUNG 2'-1%"×3'-4%" (⑪) 井豆() 100 日 0.000 2 2 2 2 2 2 3 2 3				$\begin{array}{c ccccccccccccccccccccccccccccccccccc$				G A 3" 1EN1 5.		
H PROCEEDING THE SEEN OF THE S	340 VREEDE PALES 36 F 26 F.			<u>а 5</u> Г 8 П 8 П 8 Г 8 П 8 Г 7 ПОИВLE HUNG 2'-1% X3'-4% (0) 1 5 С 1 8 0 7 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2								G A 3" 1EN1 5.		
H PROCEEDING AND OLIVIAN AND AND AND AND AND AND AND AND AND A														
H PROCEEDING IN THE INFORMATION INTERVALUE INTO THE INFORMATION IN THE INFORMATION IN THE INFORMATION IN THE INFORMATION IN THE INFORMATION IN THE INFORMATION IN THE INFORMATION IN THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INFORMATION INTO THE INTO THE INTO THE INTO THE INTO THE INTO THE INTO THE INTO THE INTO THE INTO THE INTO T														
H PROCEENT OF THE SCENT OF THE														
H PROCEEDING AND AND AND AND AND AND AND AND AND AND														
H PROCEEDING AND AND AND AND AND AND AND AND AND AND														
H PROCEENT OF THE SCENT OF THE														
H PROCEENT OF THE SCENT OF THE														
H PROCEENT OF THE SCENT OF THE														
PROCE EEE SEE SEE SEE SING FREE SIN FREE SING FREE SIN FR														
H PROCEENT OF THE SCENT OF THE														
H PROCEENT OF THE SCENT OF THE														
H PROCEEDING AND AND AND AND AND AND AND AND AND AND														

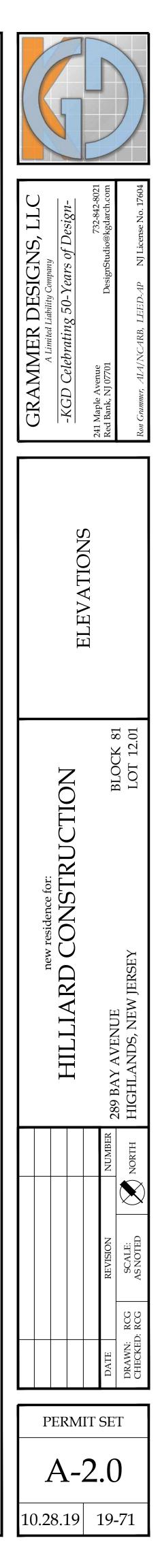


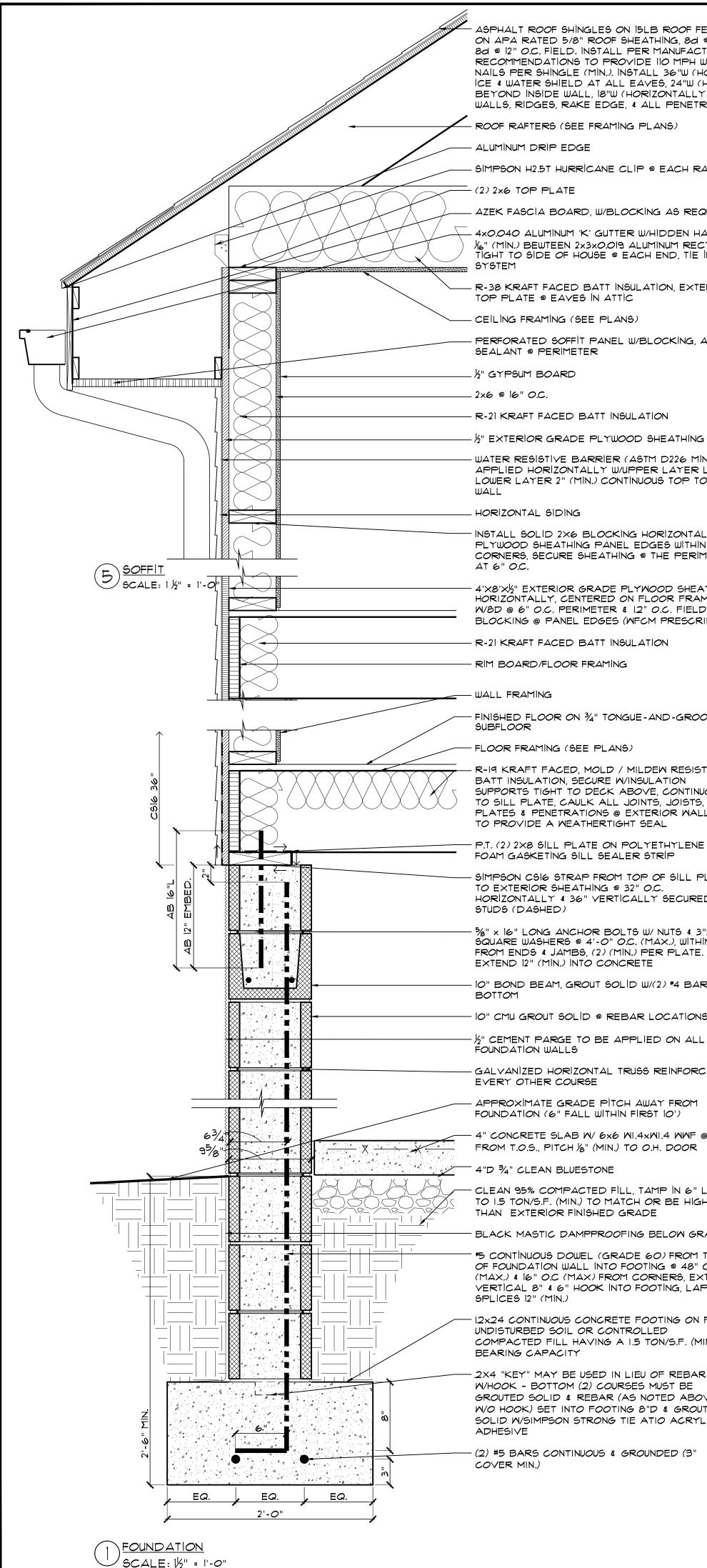


RIDGE VENT (TYP.) DOF SHINGLES (TYP.) ATTIC VENT (TYP.) OW			
BOARD I BOARD EADERS TO DOWNSPOUTS © GRADE (TYP.)			
IG WINDOW (TYP.) SIDING (TYP.) ARD (TYP.) ERIOR GRADE PLYWOOD SHEATHING RIZONTALLY, CENTERED ON 2ND FLOOR FASTENED W/8D @ 6" O.C. PERIMETER & 12"			
PROVIDE 2X4 BLOCKING @ PANEL EDGES M PRESCRIPTIVE METHOD, E) DF IGHT FIXTURE (TYP.) DPENINGS GREATER THAN 3'-O" SHALL D W/SIMPSON CSI6 STRAPS TO THE , L2" (MIN.), LAP OVER & CONNECT TO R & DOUBLE TOP PLATE ,EACH PENING R W/SIDELIGHTS			
CH 4 STAIR CE (TYP.) R GE CE (TYP.)		(TYP.)	
BELOW GRADE (TYP.)	2 RIGHT SIDE ELEN SCALE: 4" = 1'-0"	<u></u>	
		ASPHALT ROC	RIDGE VENT (TYP.)
		GUTTERS & LEADERS TO DOWNSPOUT	6 @ GRADE (TYP.)
			D ON 2ND FLOOR . PERIMETER & 12" 5 @ PANEL EDGES
		EXTERIOR OPENINGS GREATER 1 BE FASTENED W/SIMPSON CSIG JACK STUD, 12" (MIN.), LAP OVER THE HEADER & DOUBLE T	
			CH/DECK 4 STAIR
<u>a</u>	ـــــــــــــــــــــــــــــــــــــ		OW GRADE (TYP.) OW GRADE (TYP.) C C C C C C C C C C C C C C C C C C C









ASPHALT ROOF SHINGLES ON I5LB ROOF FELT (LAP 4" MIN.) ON APA RATED 5/8" ROOF SHEATHING, 8d @ 6" O.C. EDGE, 80 @ 12" O.C. FIELD. INSTALL PER MANUFACTURER'S RECOMMENDATIONS TO PROVIDE 110 MPH WARRANTY W/6 NAILS PER SHINGLE (MIN.), INSTALL 36 W (HORIZONTALLY) ICE & WATER SHIELD AT ALL EAVES, 24"W (HORIZONTALLY) BEYOND INSIDE WALL, 18"W (HORIZONTALLY) FOR END WALLS, RIDGES, RAKE EDGE, & ALL PENETRATIONS

ROOF RAFTERS (SEE FRAMING PLANS)

- ALUMÍNUM DRIP EDGE

SIMPSON H2.5T HURRICANE CLIP @ EACH RAFTER

- (2) 2×6 TOP PLATE

AZEK FASCIA BOARD, W/BLOCKING AS REQUIRED

4x0.040 ALUMINUM 'K' GUTTER W/HIDDEN HANGERS PITCHED k_{e} " (MİN.) BEWTEEN 2x3x0.019 ALUMINUM RECT. LEADERS TIGHT TO SIDE OF HOUSE @ EACH END, TIE INTO DRAINAGE

R-38 KRAFT FACED BATT INSULATION, EXTEND OVER WALL TOP PLATE @ EAVES IN ATTIC

CEILING FRAMING (SEE PLANS)

PERFORATED SOFFIT PANEL W/BLOCKING, AS REQUIRED, 4 SEALANT @ PERIMETER

为" GYPSUM BOARD

. 2x6 @ 16" O.C.

R-21 KRAFT FACED BATT INSULATION

WATER RESISTIVE BARRIER (ASTM D226 MIN. COMPLIANCE), APPLIED HORIZONTALLY WUPPER LAYER LAPPED OVER LOWER LAYER 2" (MIN.) CONTINUOUS TOP TO BOTTOM OF WALL

HORIZONTAL SIDING

INSTALL SOLID 2×6 BLOCKING HORIZONTALLY AT ALL PLYWOOD SHEATHING PANEL EDGES WITHIN 48" OF CORNERS, SECURE SHEATHING @ THE PERIMETER W/80 NAILS AT 6" O.C.

4'X8'X/2" EXTERIOR GRADE PLYWOOD SHEATHING INSTALL HORIZONTALLY, CENTERED ON FLOOR FRAMING @ FASTENED W/8D @ 6" O.C. PERIMETER & 12" O.C. FIELD, PROVIDE 2X6 BLOCKING @ PANEL EDGES (WFCM PRESCRIPTIVE METHOD)

R-21 KRAFT FACED BATT INSULATION

RIM BOARD/FLOOR FRAMING

WALL FRAMING

- FINISHED FLOOR ON 3/4" TONGUE-AND-GROOVE

FLOOR FRAMING (SEE PLANS)

R-19 KRAFT FACED, MOLD / MILDEW RESISTANT BATT INSULATION, SECURE W/INSULATION SUPPORTS TIGHT TO DECK ABOVE, CONTINUOUS TO SILL PLATE, CAULK ALL JOINTS, JOISTS, SILL PLATES & PENETRATIONS @ EXTERIOR WALLS, TO PROVIDE A WEATHERTIGHT SEAL

- P.T. (2) 2×8 SILL PLATE ON POLYETHYLENE FOAM GASKETING SILL SEALER STRIP

SIMPSON CSIG STRAP FROM TOP OF SILL PLATE TO EXTERIOR SHEATHING @ 32" O.C. HORIZONTALLY & 36" VERTICALLY SECURED TO STUDS (DASHED)

5/2" x 16" LONG ANCHOR BOLTS W/ NUTS & 3"x3" SQUARE WASHERS @ 4'-O" O.C. (MAX.), WITHIN 12" FROM ENDS & JAMBS, (2) (MIN.) PER PLATE. EXTEND 12" (MIN.) INTO CONCRETE

10" BOND BEAM, GROUT SOLID W/(2) #4 BARS @

- 10" CMU GROUT SOLID @ REBAR LOCATIONS

 $\frac{1}{2}$ " CEMENT PARGE TO BE APPLIED ON ALL

FOUNDATION WALLS

GALVANİZED HORIZONTAL TRUSS REINFORCİNG, EVERY OTHER COURSE

APPROXIMATE GRADE PITCH AWAY FROM FOUNDATION (6" FALL WITHIN FIRST 10')

- 4" CONCRETE SLAB W/ 6x6 WI.4xWI.4 WWF @ -I" - X - K MIN.) TO O.H. DOOR

 $^{-}$ 4"D $\frac{3}{4}$ " CLEAN BLUESTONE

CLEAN 95% COMPACTED FILL, TAMP IN 6" LIFTS TO 1.5 TON/S.F. (MIN.) TO MATCH OR BE HIGHER THAN EXTERIOR FINISHED GRADE

BLACK MASTIC DAMPPROOFING BELOW GRADE *5 CONTINUOUS DOWEL (GRADE 60) FROM TOP OF FOUNDATION WALL INTO FOOTING @ 48" O.C. (MAX.) & 16" O.C (MAX) FROM CORNERS, EXTEND VERTICAL 8" \$ 6" HOOK INTO FOOTING, LAP

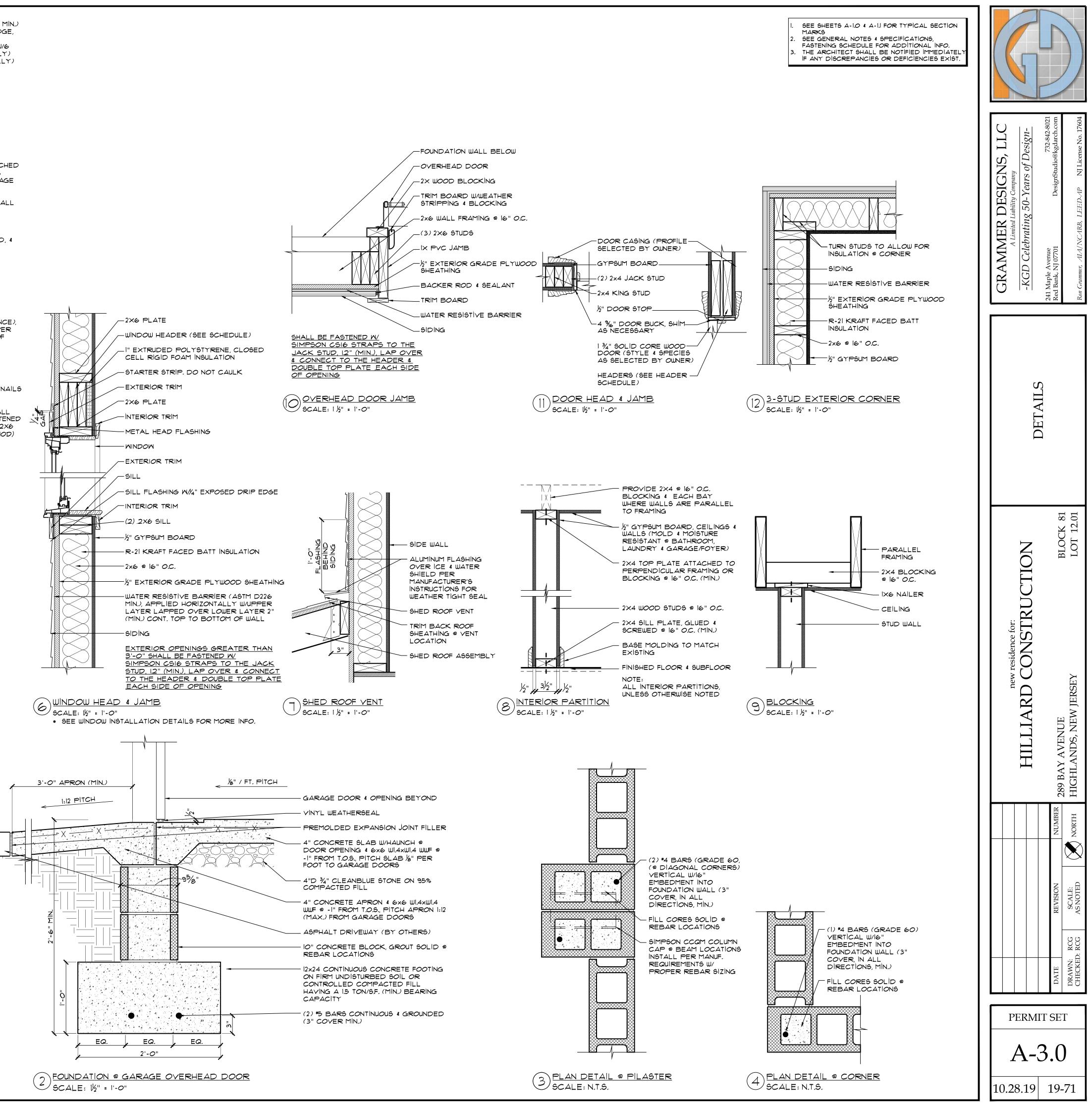
12x24 CONTINUOUS CONCRETE FOOTING ON FIRM UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL HAVING A 1.5 TON/S.F. (MIN.) BEARING CAPACITY

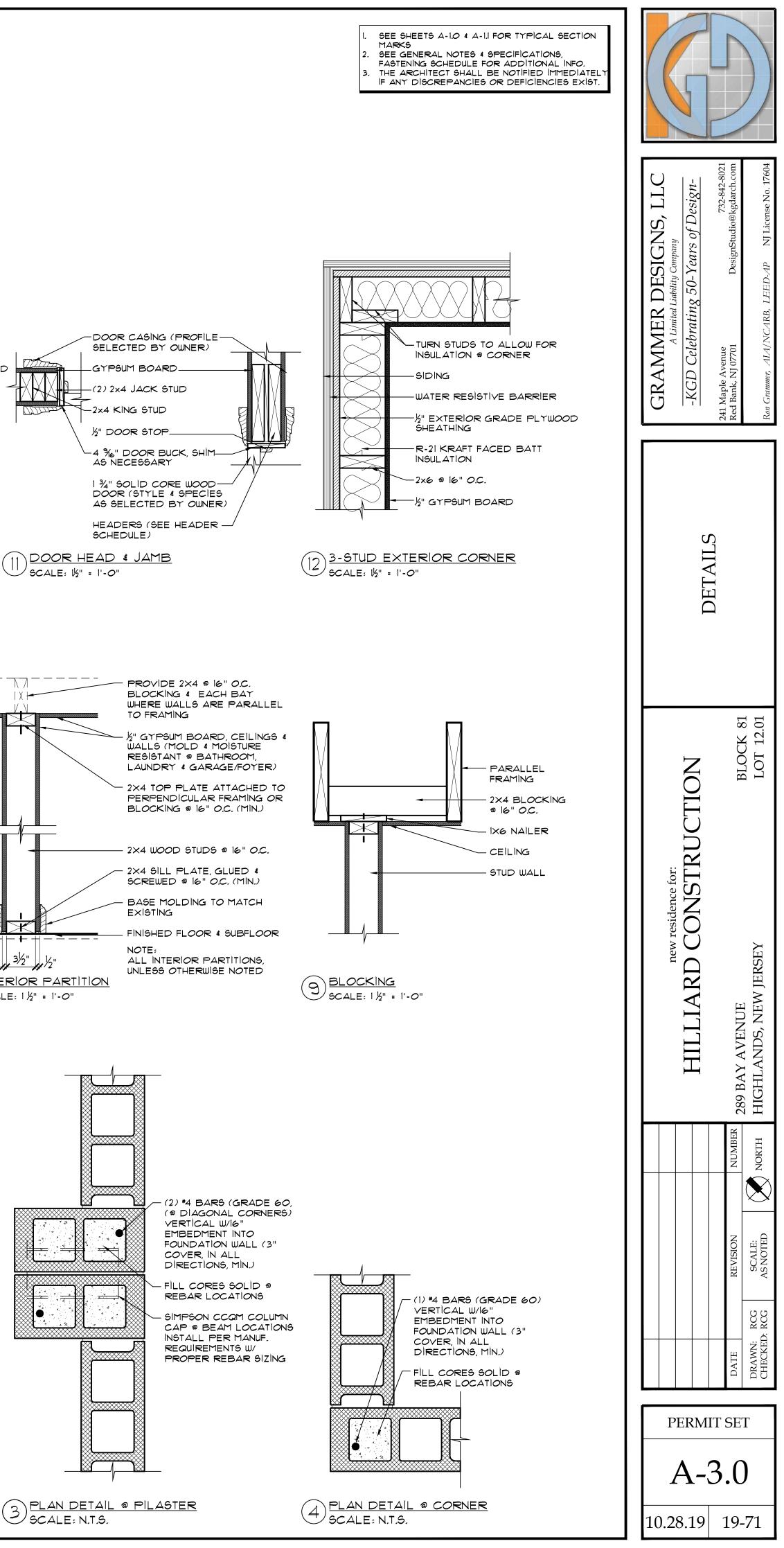
2X4 "KEY" MAY BE USED IN LIEU OF REBAR W/HOOK - BOTTOM (2) COURSES MUST BE GROUTED SOLID & REBAR (AS NOTED ABOVE W/O HOOK) SET INTO FOOTING 8"D & GROUTED SOLID W/SIMPSON STRONG TIE ATIO ACRYLIC ADHESI∨E

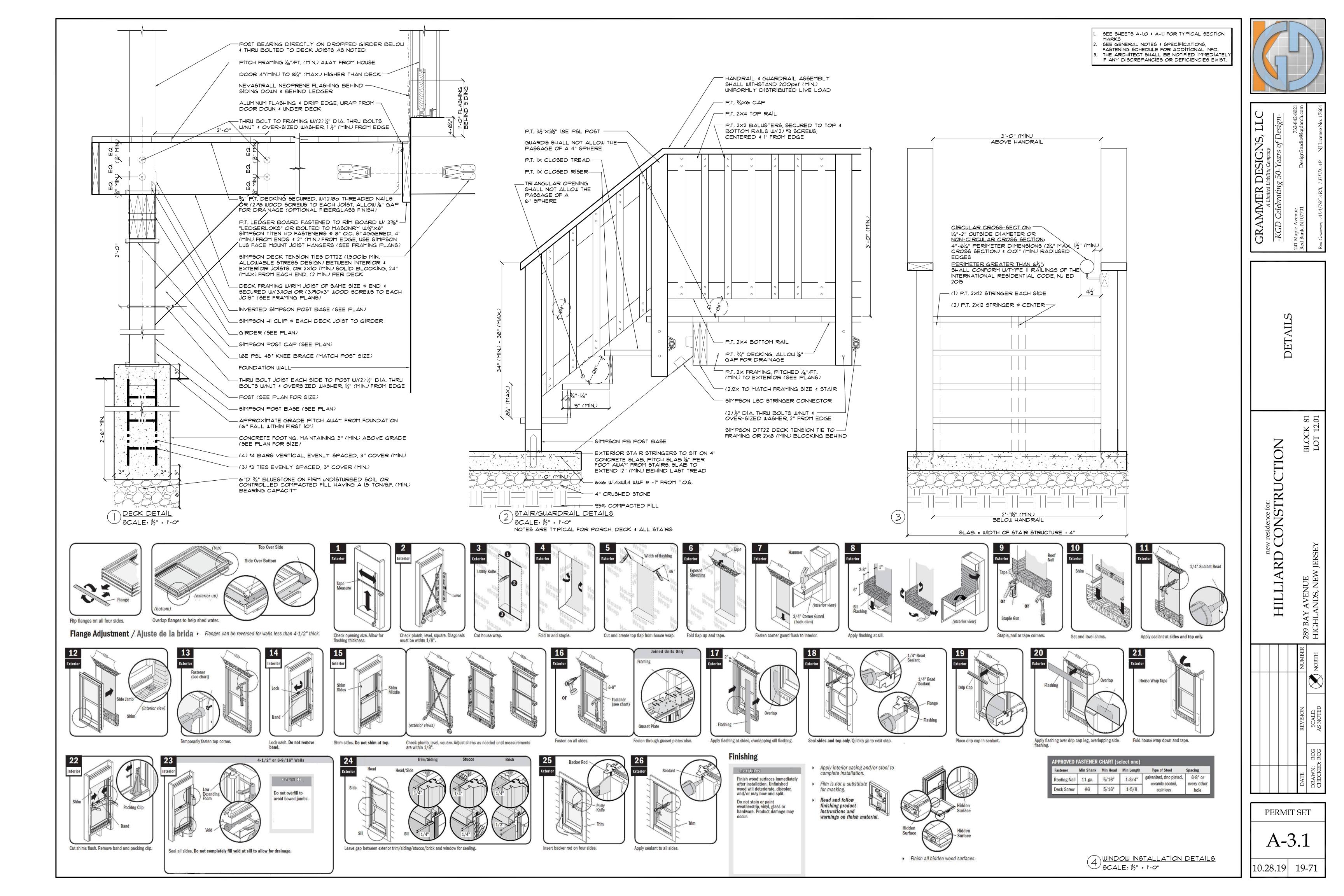
(2) #5 BARS CONTINUOUS & GROUNDED (3" COVER MIN.)











ITEM	F DESCRIPTION OF BUILDLING ELEMENTS	ASTENING SCHEDULE NUMBER AND TYPE OF FASTENERS
	DESCRIPTION OF BUILDLING ELEIVIENTS	ROOF
		4-8d BOX (2 1/2" X 0.113")OR
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	3-8d COMMON (2 1/2" X 0.131"); OR
		3-10d BOX (3" X 0.128"); OR
		3-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.113")OR
		3-8d COMMON (2 1/2" X 0.131"); OR
2	CEILNG JOISTS TO TOP PLATE	3-10d BOX (3" X 0.128"); OR
		3-3" X 0.131" NAILS
	CEILNG JOINST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER	4-10d BOX (3" X 0.128"); OR
3	PARTITION [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE	3-16d COMMON (3 1/2" X 0.162"); OR
	R802.5.1(9)] CEILNG JOINST ATTACHED TO PARALLEL RAFTER (HEEL JOINT)	4-3" X 0.131" NAILS
4	[SEE SECTIONS R802.3.1, R802.3.2 AND TABLE	TABLE R802.5.1(9)
	R802.5.1(9)]	
	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4" X 20 GA. RIDGE STRAP	4-10d BOX (3" X 0.128"); OR
5	TO RAFTER	3-10d COMMON (3" X 0.148"); OR
		4-3" X 0.131" NAILS 3-16d BOX NAILS (3 1/2" X 0.135"); OR
		3-10d COMMON NAILS (3" X 0.148"); OR
6	RAFTER OR ROOF TRUSS TO PLATE	4-10d BOX (3" X 0.125"); OR
		4-3" X 0.131" NAILS
		4-16d (3 1/2" X 0.135"); OR
		3-10d COMMON NAILS (3 1/2" X 0.148"); OR
	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER	4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS
7	TO MINIMUM 2" RIDGE BEAM	3-16d BOX NAILS (3 1/2" X 0.135"); OR
		2-16d COMMON (3 1/2" x 0.162"); OR
		3-10d BOX (3" X 0.128"); OR
		3-3" X 0.131" NAILS
		WALL 16d COMMON (3 1/2" X 0.162")
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	10d BOX (3" X 0.128"); OR
		3" X 0.131" NAILS
	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL	16d BOX (3 1/2" X 0.135"); OR
9	CORNERS (AT BRACED WALL PANELS)	3" X 0.131" NAILS
		16d COMMON (3 1/2" X 0.162")
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135")
		5-8d BOX (2 1/2" X 0.113"); OR
11	CONTINUOUS HEADER TO STUD	5-8d BOX (2 1/2" X 0.113"); OR 4-8d BOX (2 1/2" X 0.131")OR
11	CONTINUOUS HEADER TO STUD	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128")
		4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162")
11	CONTINUOUS HEADER TO STUD	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR
		4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162")
		4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS
	TOP PLATE TO TOP PLATE	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D0, D1, OR D2; AND BRACED	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D0, D1, OR D2; AND BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D0, D1, OR D2; AND BRACED	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135")
12 13	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR
12 13	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 2-16d COMMON (3 1/2" x 0.162"); OR
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 " X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-3d COMMON (2 1/2" X 0.135"); OR 4-3d COMMON (3 1/2" X 0.1
12 13 14 15 16	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-Da WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d COMMON (2 1/2" X 0.131"); OR 4-8d COMMON (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS 3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR
12 13 14 15 16	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-Da WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d COMMON (2 1/2" X 0.131"); OR 4-8d COMMON (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS 3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-30 BOX (2 1/2" X 0.135"); OR 4-30 BOX (3 1/2" X 0.135"); OR 4-10d BOX (3" X 0.128"); OR 4-30 BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS
12 13 14 15 16	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-Da WITH SEISMIC BRACED WALL LINE SPACING < 25'	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.128"); OR 3-10d BOX (3 1/2" X 0.128"); OR 3-10d BOX (3 X 0.128"); OR 3-10d BOX (3 1/2" X 0.162"); OR 3-10d BOX (3 1/2" X 0.162"); OR 3-10d BOX (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS 3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-210d BOX (2 1/2" X 0.113"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (2 1/2" X 0.131"); OR 2-10d BOX (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-3d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (2 1/2" X 0.113"); OR 2-10d BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.155"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-200 BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-164 COMMON (3 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR 2-104 BOX (3" X 0.128"); OR 2-104 BOX (2 1/2" X 0.113"); OR 2-
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-3d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (2 1/2" X 0.113"); OR 2-10d BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-104 BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-164 COMMON (3 1/2" X 0.113"); OR 2-164 COMMON (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR 3-38 BOX (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR 3-84 BOX (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3" X 0.128"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-20d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.113"); OR 2-16d COMMON (2 1/2" X 0.113"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18 19	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.152"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3 1/2" X 0.131"); OR 2-16d BOX (3 1/2" X 0.131"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2
12 13 14 15 16 17 18 19	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18 19	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.152"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.131"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-10d BOX (3" X 0.128"); OR 3-10d

113")OR " X 0.131"); OR TOE NAIL "); OR 0.113")OR " X 0.131"); OR PER JOIST, TOE NAIL "); OR "); OR 2" X 0.162"); OR FACE NAIL FACE NAIL "); OR 0.148"); OR FACE NAIL EACH RAFTER '2" X 0.135"); OR S (3" X 0.148"); OR 2 TOE NAILS ON ONE SIDE AND ONE TOE ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS "); OR '); OR LS (3 1/2" X 0.148"); OR TOE NAIL "); OR /2" X 0.135"); OR 2" x 0.162"); OR END NAIL "); OR ' X 0.162") 24" O.C. FACE NAIL ; OR 16" O.C. FACE NAIL .35"); OR 12" O.C. FACE NAIL ' X 0.162") 16" O.C. FACE NAIL " X 0.162") 16" O.C. EACH EDGE FACE NAIL 12" O.C. EACH EDGE FACE NAIL 35") 113"); OR .31")OR TOE NAIL X 0.162") 16" O.C. FACE NAIL ; OR 12" O.C. FACE NAIL 2"X 0.162"); OR 0.135"); OR 8"); OR FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT) 0.135") X 0.162") 16" O.C. FACE NAIL 35"); OR 12" O.C. FACE NAIL).135"); OR 3 EACH 16" O.C. FACE NAIL 2" x 0.162"); OR 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL .13")OR .135"); OR TOE NAIL " X 0.131"); OR "); OR /2" X 0.135"); OR 2" x 0.162"); OR END NAIL "); OR "); OR 2" x 0.162"); OR FACE NAIL .13"); OR " X 0.131 "); OR

SPACING AND LOCATION

.113"); OR			
2" X 0.131"); OR	EACE NAU		
8"); OR	FACE NAIL		
.113"); OR			
2" X 0.131"); OR	FACE NAIL		
8"); OR	FACE NAIL		
N, 16GA., 1 3/4" LONG			
.113"); OR			
2" X 0.131"); OR			
8"); OR			
N,16GA., 1 3/4" LONG			
	FACE NAIL		
.113")OR			
2" X 0.131"); OR			
8"); OR			

TEM	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING A	ND LOCATION
		FLOOR		
		4-8d BOX (2 1/2" X 0.113")OR		
21	JOIST TO SILL, TOP PLATE OR GIRDER	3-8d BOX (2 1/2" X 0.131"); OR	то	E NAIL
		3-10d BOX (3" X 0.128"); OR		
		3-3" X 0.131" NAILS	متر متر الذ	
		8d BOX (2 1/2" X 0.113")	4" O.C. TOE NAIL 6" O.C. TOE NAIL	
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR		
		3" X 0.131" NAILS		
		3-8d BOX (2 1/2" X 0.113"); OR		
		2-8d COMMON (2 1/2" X 0.131"); OR		
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-10d BOX (3" X 0.128"); OR	FAC	CE NAIL
		2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG		
		3-16d BOX NAILS (3 1/2" X 0.135"); OR		
24	2" SUBFLOOR TO JOIST OR GIRDER	2-15d COMMON (3 1/2" x 0.162")	BLIND AN	ID FACE NAIL
		3-15d BOX NAILS (3 1/2" X 0.135"); OR		
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-15d COMMON (3 1/2" X 0.162")	AT EACH BEA	ARING, FACE NAIL
		3-16d BOX NAILS (3 1/2" X 0.162"); OR	I	
15.00	BARIN MB BILL INTER TH THE	4-10d BOX (3" X 0.128"); OR		IS NAU
26	BAND OR RIM JOIST TO JOIST	4-3" X 0.131" NAILS; OR	EN	DNAIL
		4-3" X 14 GA., STAPLES, 7/16" CROWN		
	<u> </u>	20d COMMON (4" X 0.192"); OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTO STAGGERED.	
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPO SIDES	
27		AND:		
		2-20d COMMON (4" X 0.192"); OR	FACE NAIL AT ENDS AND AT EACH SPLICE	
		3-10d BOX (3" X 0.128"); OR		
		3-3" X 0.131" NAILS		
		4-16d BOX (3 1/2" X 0.135"); OR		
70		3-16d COMMON (3 1/2" X 0.162"); OR	AT EACH JOIST OR RAFTER, FACE NAIL	
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-10d BOX (3" X 0.128"); OR		
		4-3" X 0.131" NAIL5		
29	BRIDGING TO JOIST	2-10d (3" X 0.128")	EACH EN	ID, TOE NAIL
			SPACING O	F FASTENERS
ITEM	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS a,b,c	EDGES (INCHES) ^H	INTERMEDIATE SUPPORTS ^{C.} (INCHES)
WOOD S	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR	AMING AND PARTICLE BOARD WALL SHEATHING TO FRAMII R WALL SHEATHING TO WALL FRAMING	NG. [SEE TABLE R602.3(3) FOR	WOOD STRUCTURAL PANEL
30	3/8" - 1/2"	6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL	6	12 ^F
30	370 · 1/2	8d COMMON (2 1/2" X 0.131") NAIL (ROOF)	0	12
31	19/32" - 1"	8d COMMON (2 1/2" X 0.131")	6	12 ^F
32	1 1/8" - 1 1/4"	10d COMMON (3" X 0.148") NAIL; OR	6	12
-07 Ma		8d (2 1/2" X 0.131") DEFORMED NAIL	·	
		OTHER WALL SHEATHING ⁶		
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG	3	6
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG	3	5
35	1/2" GYPSUM SHEATHING ^D	1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S	7	7
36	5/8" GYPSUM SHEATHING ⁰	1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S	7	7
	WOOD STRUCTURAL PANELS	, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING	· · · · · · · · · · · · · · · · · · ·	
	3/4" AND LESS	6d DEFORMED (2" X 0.120") NAIL; OR 8d COMMON (2 1/2" X 0.131") NAIL	б	12
37		-		
37 38	7/8" - 1"	8d COMMON (2 1/2" X 0.131") NAIL; OR 8d DEFORMED (2 1/2" X 0.120") NAIL	6	12
	7/8" - 1" 1 1/8" - 1 1/4"		6	12

	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING AI	ND LOCATION
		FLOOR	_	
		4-8d BOX (2 1/2" X 0.113")OR		
21	JOIST TO SILL, TOP PLATE OR GIRDER	3-8d BOX (2 1/2" X 0.131"); OR	то	ENAIL
		3-10d BOX (3" X 0.128"); OR		
		3-3" X 0.131" NAILS		
		8d BOX (2 1/2" X 0.113")	4" O.C	. TOE NAIL
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	3-8d COMMON (2 1/2" X 0.131"); OR	6" O.C. TOE NAIL	
		3-10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	8 0.0	
		3-8d BOX (2 1/2" X 0.113"); OR		
		2-8d COMMON (2 1/2" X 0.131"); OR		
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-10d BOX (3" X 0.128"); OR	FAC	
		2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG		
		3-16d BOX NAILS (3 1/2" X 0.135"); OR		
24	2" SUBFLOOR TO JOIST OR GIRDER	2-15d COMMON (3 1/2" x 0.162")	BLIND AN	ID FACE NAIL
		3-16d BOX NAILS (3 1/2" X 0.135"); OR		
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-15d COMMON (3 1/2" X 0.162")	AT EACH BEA	RING, FACE NAIL
		3-16d BOX NAILS (3 1/2" X 0.162"); OR		
26		4-10d BOX (3" X 0.128"); OR		D N A II
26	BAND OR RIM JOIST TO JOIST	4-3" X 0.131" NAILS; OR	EN	D NAIL
		4-3" X 14 GA., STAPLES, 7/16" CROWN		
	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20d COMMON (4" X 0.192"); OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTT STAGGERED.	
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPP SIDES	
27		AND:	FACE NAIL AT ENDS AND AT EACH SPLICE	
		2-20d COMMON (4" X 0.192"); OR		
		3-10d BOX (3" X 0.128"); OR		
		3-3" X 0.131" NAIL5		
		4-16d BOX (3 1/2" X 0.135"); OR		
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3 1/2" X 0.162"); OR	AT EACH JOIST OR RAFTER, FACE NAIL	
		4-10d BOX (3" X 0.128"); OR		
		4-3" X 0.131" NAILS		
29	BRIDGING TO JOIST	2-10d (3" X 0.128")		ID, TOE NAIL
	DESCRIPTION OF BUILDLING ELEMENTS		SPACING O	F FASTENERS
	I DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS a,b,c	EDGES (INCHES) ^H	INTERMEDIATE SUPPORTS
ITEM				(INCHES)
ITEM wood s	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR	R WALL SHEATHING TO WALL FRAMING	 NG. [SEE TABLE R602.3(3) FOR	
	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR		NG. [SEE TABLE R602.3(3) FOR	WOOD STRUCTURAL PANEL
WOOD S	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2"	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF)		WOOD STRUCTURAL PANEL
WOOD S	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131")		WOOD STRUCTURAL PANEL
WOOD S 30	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2"	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR	6	WOOD STRUCTURAL PANEL
WOOD S 30 31	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1"	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL	6	12 ^F
WOOD S 30 31	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1"	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G	6	WOOD STRUCTURAL PANEL
WOOD S 30 31	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1"	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL	6	WOOD STRUCTURAL PANEL
30 31 32	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1" 1 1/8" - 1 1/4"	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1"	6 6 6	WOOD STRUCTURAL PANEL
WOOD S 30 31 32 33	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1"	6 6 6 3	WOOD STRUCTURAL PANEL 12 ^F 12 ^F 12
WOOD S 30 31 32 33 34	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1	6 6 6 3 3	WOOD STRUCTURAL PANEL
WOOD S 30 31 32 33 34 35	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D	R WALL SHEATHING TO WALL FRAMING 5d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1	6 6 6 3 3 7	WOOD STRUCTURAL PANEL
WOOD S 30 31 32 33 34 35	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D	R WALL SHEATHING TO WALL FRAMING 5d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S	6 6 6 3 3 7	WOOD STRUCTURAL PANEL
WOOD S 30 31 32 33 33 34 35 36	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIOR 3/8" - 1/2" 19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ⁰ 5/8" GYPSUM SHEATHING ⁰	R WALL SHEATHING TO WALL FRAMING 6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ⁶ 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S 6d DEFORMED (2" X 0.120") NAIL; OR	6 6 6 3 3 7 7 7	WOOD STRUCTURAL PANEL 12 ^F 12 ^F 6 7 7

FOR SI: 1 INCH = 25.4MM, 1 FT = 304.8MM, 1 MILE PER HOUR = 0.447 M/S; KSI = 5.897MPa

a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shan diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 or less

b. Staples are 16gage wire and have a minimum 7/16 inch on diameter crown width

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

f. Where the ultimate design wind speed is 130 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls' and 4 inches on center to gable end wall framing.

g. Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208 h. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall

be supported by framing members or solid blocking.

the opposite side of the rafter shall not be required.

i. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on

GRAMMER DESIGNS, LLC A Limited Liability Company	-KGD Celebrating 50-Years of Design-	241 Maple Avenue 732-842-8021 Red Bank, NJ 07701 DesignStudio@kgdarch.com	Ron Grammer, ALA/NCARB, LEED-AP NJ License No. 17604
	FASTENING SCHEDLII F		
new residence for:	HILLIAKD CONSTRUCTION		HIGHLANDS, NEW JERSEY LOT 12.01
		REVISION	
		DATE	
PE.		t SE	ет 7
10.28	.19	19	-71

- <u>NERAL CONDITIONS (DRAWINGS SUPERCEDE THE GENERAL NOTES & SPECIFICATION</u> ALL CODES HAVING JURISDICTION SHALL BE OBSERVED STRICTLY IN THE CONSTRUCTION OF THE PROJECT, INCLUDING ALL APPLICABLE INTERNATIONAL NATIONAL STATE CITY AND COUNTY BUILDING. ZONING. ELECTRIC, PLUMBING, MECHANICAL AND FIRE CODES, CONTRACTOR SHALL VERIFY ALL CODE REQUIREMENTS BEFORE COMMENCEMENT OF CONSTRUCTION AND BRING ANY DISCREPANCIES BETWEEN CODE REQUIREMENTS AND CONSTRUCTION DOCUMENTS TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & CONDITIONS BEFORE STARTING WORK. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE OWNER 4 ARCHITECT.
- DRAWINGS ARE NOT TO BE SCALED. NOTIFY THE ARCHITECT OF ANY DIMENSIONAL DISCREPANCIES.
- ALL DIMENSIONS ARE MEASURED TO THE ROUGH UNLESS OTHERWISE NOTED.
- DETAILS 4 SECTIONS ON THE DRAWINGS ARE SHOWN AT SPECIFIC LOCATIONS AND ARE INTENDED TO SHOW GENERAL REQUIREMENTS THROUGHOUT. DETAILS NOTED 'TYPICAL' IMPLY ALL CONDITIONS TREATED SIMILARLY, MODIFICATIONS TO BE MADE BY CONTRACTOR TO ACCOMMODATE MINOR VARIATIONS.
- THE CONTRACTOR SHALL PROTECT THEIR WORK AND PROPERTY FROM DAMAGE OR THEFT, PROTECT THE OWNER'S PROPERTY AGAINST DAMAGE, AND TAKE CARE NOT TO DAMAGE THE WORK OF OTHERS.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY BUILDING PERMITS, ETC., INSPECTIONS REQUIRED AND SHALL OBTAIN ALL CERTIFICATES OF OCCUPANCY, PAYMENT FOR ALL PERMITS AND CERTIFICATES SHALL BE BY THE OWNER.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR AND SHALL CONFORM IN ALL RESPECTS TO THE RULES, REGULATIONS AND STATUTES GOVERNING CONSTRUCTION SAFETY. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE SAFETY AND CONSTRUCTION PROCEDURES, TECHNIQUES OR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH DRAWINGS OR THE REQUIRED CODES.
- THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR AND MATERIALS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK IN ACCORDANCE WITH MECHANICS SKILLED IN THEIR TRADE. IO. ALL WORK SHALL BE DONE IN A FIRST CLASS MANNER BY EXPERIENCED PERSONNEL.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING FOR ALL WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL BRACE AND PROTECT ALL WORK IN PROGRESS THROUGH THE COMPLETION OF THE PROJECT
- ALL MATERIALS & PRODUCTS SHALL BE AS SHOWN ON THE DRAWINGS, ANY SUBSTITUTIONS SHALL BE PERMITTED UPON THE RECEIPT OF 3 COPIES OF PRODUCT DATA TO THE OWNER FOR CONSIDERATION TWO WEEKS (MINIMUM) PRIOR TO STARTING WORK.
- 13. ALL MATERIALS AND EQUIPMENT SHALL BE HANDLED & INSTALLED IN ACCORDANCE WITH MANUFACTURERS' INSTRUCTIONS, ALL WARRANTIES SHALL BE DELIVERED TO THE HOMEOWNER UPON SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL COMPLY WITH ALL MINIMUM INSURANCE REQUIREMENTS AS MANDATED BY STATE REGULATIONS & THE OWNER TO PROTECT THE OWNER FROM CLAIMS FOR DAMAGES & PERSONAL INJURIES, INCLUDING DEATH, WHICH MAY ARISE IN CONNECTION WITH THIS PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED BY THE CONTRACTOR AND 16. SUBCONTRACTORS AND EMPLOYEES AGAINST ANY AND ALL DEFECTS OF WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE IN THE COVERAGE AMOUNTS REQUIRED BY THE OWNER.
- THE GENERAL CONTRACTOR SHALL PROVIDE AND ARRANGE FOR ALL NECESSARY TEMPORARY POWER. LIGHTING, WATER, HEAT, ETC., AS MAY BE REQUIRED DURING CONSTRUCTION, INCLUDING PROVIDING ON SITE 'PORTA JOHN' FACILITIES.
- THE CONTRACTOR SHALL REMOVE AND SCRAP ALL RUBBISH, PACKING MATERIAL AND DEBRIS RELATED TO HIS WORK FROM THE INTERIOR AND EXTERIOR OF THE PROJECT ON A DAILY BASIS.
- AT THE COMPLETION OF WORK, THE CONTRACTOR SHALL ARRANGE FOR A FINAL CLEANING OF ALL SPACES, MATERIALS AND EQUIPMENT, INCLUDING GLASS, METAL, FLOORS, HARDWARE, CEILINGS, ETC. BUILDING SHALL BE LEFT CLEAN AND READY FOR USE UPON COMPLETION OF PROJECT.
- THE ARCHITECT WILL BE IN THE FIRST INSTANCE, THE INTERPRETER OF THE REQUIREMENTS OF THE DOCUMENTS, THE ARCHITECT WILL ALSO HAVE THE AUTHORITY TO REJECT WORK WHICH DOES NOT CONFORM TO THE DOCUMENTS. 20.
- THESE DRAWINGS ARE INTENDED TO PROVIDE DESIGN & CONSTRUCTION INFORMATION OF ALL UNITS DESCRIBED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER'S ARCHITECT IF, IN HIS OPINION, ANY UNIT IS INCOMPLETE WITH THE INFORMATION GIVEN HEREIN, FAILURE TO NOTIFY THE ARCHITECT SHALL MEAN THE CONTRACTOR UNDERSTANDS THE DOCUMENTS AND THEIR INTENT, AND ALL ITEMS WILL BE COMPLETE FOR OWNER'S USE.
- ANY FORM OF DIRECT REPRODUCTION OF THESE DRAWINGS AND DESIGN IN WHOLE OR PART IS PROHIBITED 21. UNLESS AUTHORIZED IN WRITING BY THE ARCHITECT. ITE WORK (SEE CIVIL DRAWINGS FOR ADDITIONAL INFORMATION)
- IN LIEU OF A GEOTECHNICAL EVALUATION, THE PRESUMPTIVE LOAD BEARING PRESSURE FOR THE SOIL SHALL BE 2,0000000, CONTRACTOR SHALL VERIFY SOIL BEARING CAPACITY TO BE EQUAL TO, OR EXCEEDING THE ASSUMED VALUE BEFORE PROCEEDING WITH THE WORK. A SOIL BEARING VALUE FOUND TO 22 BE LESS THAN THE ASSUMED SHALL BE REPORTED TO THE ARCHITECT FOR FOOTING REDESIGN BY THE ARCHITECT, OR A STRUCTURAL ENGINEER AT THE DISCRETION OF THE ARCHITECT, 4 ANY ADDITIONAL COSTS SHALL BE BORN BY THE OWNER.
- THE SITE SHALL BE LEFT IN AS NATURAL A STATE AS POSSIBLE AT THE COMPLETION OF CONSTRUCTION. THE WORKERS SHALL TAKE SPECIAL CARE TO SEE THAT NO UNNECESSARY DAMAGE IS DONE. CLEARING OF VEGETATION NECESSARY FOR EXCAVATION, BACKFILLING AND GRADING SHALL BE STRICTLY COORDINATED,
- CONTRACTOR SHALL VERIFY ALL FINISHED GRADES AT BUILDING CORNERS.
- THE CONTRACTOR SHALL GRADE SOIL TO DIRECT SURFACE WATER AWAY FROM THE BUILDING. THE GRADE SHALL FALL 6" WITHIN THE FIRST 10' OF THE BUILDING 4 HAVE A MINIMUM SLOPE OF 1/4" PER FOOT THEREAFTER, FINISH GRADE SHALL BE CLEAN, FREE OF ROOTS, DEBRIS, ETC. AND SHALL BE RAKED TO 26. SMOOTH SURFACE. THE GRADE SHALL BE 8" MIN. BELOW SIDING ALL AROUND.
- CONTRACTOR SHALL EMPLOY ALL METHODS, MATERIALS & MEANS TO CONSTRUCT THE PROJECT USING THE MASONRY LEAST ENERGY, ALL PRODUCTS SHALL BE CONSIDERED FOR THEIR ENERGY CONSERVATION VALUE, TO THE 1. CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ACI 530-99 AND ACI EXTENT PRACTICAL, THE MORE ENERGY EFFICIENT PRODUCT WILL BE INCLUDED IN THE PROJECT. THE PROJECT WILL MEET OR EXCEED ENERGY REQUIREMENTS. THE APPROPRIATE ENERGY CHECKS WILL BE PERFORMED AS REQUESTED & FOR THE PREVAILING FEE PAID BY THE OWNER. THE CONTRACTOR SHALL ADVISE ARCHITECT OF ANY 4 ALL ITEMS OF NON COMPLIANCE REQUIRING REVISION, REDESIGN, ETC., TO COMPLY WITH ENERGY CODE AT TIME OF DISCOVERY, DO NOT PROCEED UNTIL ALL ITEMS ARE ADDRESSED BY ARCHITECT & APPROVED BY AGENCY HAVING JURISDICTION.
- THE CONTRACTOR SHALL CONSTRUCT THE PROJECT TO COMPLY WITH THE REQUIREMENTS OF THE AREA, TO SATISFY HIGH WIND & FLOODING REQUIREMENTS, THE CONTRACTOR SHALL ADVISE ARCHITECT OF ANY & ALL 4. MORTAR SHALL CONFORM TO ASTM C210, TYPE M OR 5. ALL PORTLAND CEMENT S ITEMS OF NON COMPLIANCE REQUIRING REVISION, REDESIGN, ETC., TO COMPLY WITH HIGH WIND 4 FLOODING REQUIREMENTS AT TIME OF DISCOVERY, DO NOT PROCEED UNTIL ALL ITEMS ARE ADDRESSED BY ARCHITECT & APPROVED BY AGENCY HAVING JURISDICTION.
- XCAVATION NOTE THE CONTRACTOR SHALL VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO EXCAVATION & START OF CONSTRUCTION, CONTACT ARCHITECT IMMEDIATELY IF WATER IS PRESENT DURING EXCAVATION,
- THE CONTRACTOR SHALL OBSERVE WATER CONDITIONS AT THE SITE AND TAKE THE NECESSARY PRECAUTIONS TO ENSURE THAT THE FOUNDATION EXCAVATIONS REMAIN DRY DURING CONSTRUCTION. ANY SHEETING OR SHORING REQUIRED FOR DEWATERING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- OUNDATIONS EXCAVATION SHALL BE PERFORMED SO AS NOT TO DISTURB EXISTING ADJACENT BUILDINGS AND UTILITY LINES. VERIFY LOCATION OF ALL UTILITIES PRIOR TO COMMENCEMENT OF WORK. HAND EXCAVATE AROUND 3, INSTALL TEMPORARY BRACING REQUIRED INSURING STABILITY OF ALL WALLS DURIN UTILITIES AS REQUIRED.
- REMOVE EXISTING VEGETATION, TOPSOIL, AND UNSATISFACTORY SOILS MATERIALS. PROOF ROLL SUBGRADE TO OBTAIN UNIFORMLY DENSIFIED SUBSTRATA PRIOR TO PLACING FILL MATERIAL EVENLY IN 8" 11, GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS THICK (MAXIMUM) LAYERS AND COMPACTING TO REQUIRED DENSITY.
- IF CONDITIONS PROVE TO BE UNACCEPTABLE AT THE BEARING ELEVATIONS SHOWN, THE FOOTING BEARING 12. ALLOW GROUT IN REINFORCED CMU WALLS TO CURE A MINIMUM OF 48 HOURS BEFOR ELEVATIONS MAY NEED TO BE LOWERED BASED ON THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, HIRED BY THE OWNER. FINAL BEARING ELEVATIONS AND BACKFILL RECOMMENDATIONS MUST BE APPROVED BY THE ARCHITECT PRIOR TO FIELD MODIFICATION. CONCRETE FOR FOUNDATIONS SHALL BE 13. THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE A POURED ON THE SAME DAY THE SUBGRADE IS APPROVED BY THE GEOTECHNICAL ENGINEER.
- UTILITY LINES SHALL NOT BE PLACED THROUGH/BELOW FOUNDATIONS WITHOUT THE ARCHITECT'S APPROVAL DO NOT BACKFILL AGAINST WALLS UNTIL ALL FORMED SLABS & FRAMED FLOORS ARE IN PLACE & HAVE
- ATTAINED THE SPECIFIED DESIGN STRENGTH. PROVIDE TEMPORARY SHORING WHERE REQUIRED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE NEED TO USE FOUNDATION REBAR AS A GROUNDING ELECTRODE SYSTEM & SHALL INSTALL THE BONDING CLAMP PRIOR TO PLACEMENT OF THE CONCRETE AS PER NJUCC BULLETIN NO. 02-2. 4 ARTICLE 250 OF THE UNIFORM CONSTRUCTION CODE
- CONCRETE SHALL BE DESIGNED AND DETAILED IN ACCORDANCE WITH THE BUILDING CODE REQUIREMENTS IS. THE TESTING AND INSPECTION AGENCY SHALL MONITOR THE PROPORTIONING, MIXING CAST-IN-PLACE CONCRETE FOR STRUCTURAL CONCRETE (ACI-318-93), AND CONSTRUCTED IN ACCORDANCE WITH THE CRSI MANUAL OF STANDARD PRACTICE.
- CONCRETE IN THE FOLLOWING AREAS SHALL HAVE NATURAL SAND FINE AGGREGATE AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33. TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150. AND SHALL HAVE THE FOLLOWING COMPRESSIVE STRENGTH (FC') AT 28 DAYS: 3,000 PSI PILASTERS / PIERS 3,500 PSI FOOTINGS
- SLABS ON GRADE 4,000 PSI AIR ENTRAINMENT 4% TO 6% IN ALL EXPOSED CONCRETE. MAXIMUM AGGREGATE SIZE SHALL BE 1-1/2" FOR FOOTINGS AND 3/4" FOR WALLS AND SLABS

- EXTERIOR SLABS 0.44
- CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615-85, GRADE 60 SHALL BE ACCEPTED IN LIEU OF THE "5" DESIGNATION REQUIREMENT, HOWEVER, C SHALL BE MET, REINFORCEMENT BARS SHALL NOT BE TACK WELDED, WELDED, HE INDICATED ON THE CONTRACT DOCUMENTS OR APPROVED BY THE ARCHITECT.
- EPOXY COATED REINFORCING STEEL: ASTM A115.

- GROUT SHALL BE NONSHRINKABLE GROUT CONFORMING TO ASTM C827, AND SHAL COMPRESSIVE STRENGTH AT 28 DAYS OF 5000 PSI. PREGROUTING OF BASE PLA PERMITTED,
- PROTECTION FOR REINFORCEMENT BARS SHALL FOLLOWS ACI 318-89 SECTION 1.1.
- ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONC SHALL SUPPLY ALL REQUIRED BARS, STIRRUPS OR CHAIRS AS SUPPORT FOR ALI
- THE INSPECTION AGENCY SHALL APPROVE ALL REINFORCING PRIOR TO PLACING BONDING AGENT SHALL BE USED WHERE NEW CONCRETE IS PLACED AGAINST EXI
- ALL INSERTS AND SIFEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE DE DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF FASTENERS WILL NOT SPALL THE CONCRETE AND HAVE THE SAME CAPACITY AS WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS. THE CONTRACTOR TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.
- PREPARE CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR. CYLINDERS SH CURED AND STORED. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM CIT
- RETAIN LABORATORY TO PROVIDE TESTING SERVICE. SLUMP PER ASTM C143L AI C231 OR C173, CYLINDER TEGTS PER AGTM C31 AND C39. ONE SET OF SIX (6) CYLI CUBIC YARDS FOR EACH MIX USED. REPORTS OF ALL TESTS TO BE SUBMITTED T
- WELDING OF REINFORCEMENT BARS, WHEN APPROVED BY THE ARCHITECT, SHALL AMERICAN WELDING SOCIETY STANDARD DIJ-94, ELECTRODES FOR SHOP AND FIL REINFORCEMENT BARS SHALL CONFORM TO ASTM A233, CLASS E90XX.
- REPAIR CONCRETE EXHIBITING VOIDS DUE TO SNAP TIES, "HONEY COMBS," ROCK SPALLS OR OTHERWISE DAMAGED SURFACES WITH DRY PACK OR CEMENT GROUT, ADJOINING SURFACES. AT THE DISCRETION OF THE ARCHITECT OR AS QUALIFIED EXCESSIVE HONEYCOMBS OR EXPOSED REINFORCEMENT THAT JEOPARDIZE THE REMOVED AND REPLACED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT FINISHED SURFACES ABRASIONS. NO FIRE SHALL BE ALLOWED IN DIRECT CONTACT WITH CONCRETE. PROTECTION AGAINST INJURIOUS ACTION BY SUN OR WIND. FRESH CONCRETE SHA PROTECTED FROM HEAVY RAIN, FLOWING WATER, AND MECHANICAL INJURY.
- SLUMP TESTS SHALL BE MADE PRIOR TO THE ADDITION OF PLASTICIZERS. CONC TEGT CYLINDERG SHALL BE TAKEN FROM THE HOGE END FOR CONCRETE PLACED
- WATER SHALL NOT BE ADDED TO THE CONCRETE AT THE JOBSITE, IT SHALL BE THE CONTRACTOR TO COORDINATE THE REQUIREMENTS OF THE CONCRETE SUPPL ENSURE PUMPABLE AND WORKABLE MIX WITHOUT THE ADDITION OF WATER AT TH PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF SUBJECT TO THE APPROVAL OF THE ARCHITECT, FOLLOW THE RECOMMENDATION MANUFACTURER FOR PROPER USE OF RETARDANTS AND OTHER ADDITIVES. USE OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED.
- PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. TROWELING OPERATIONS UNTIL THE CONCRETE HAS LOST SURFACE WATER SHEEN (SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH ACI RECOMMENDAT 304-89 FOR GARAGES.
- PROVIDE I DAY CURING IMMEDIATELY AFTER FINISHING USING ONE OF THE FOLLO CONTÍNUOUSLY WATERED BURLAP, WATERPROOF MEMBRANES, SPRAYED-ON LÍQUÍ
- REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR REQUIREMENTS. PROTECT BETWEEN EINIGHING OPERATIONS ON HOT DRY DAYS OR ANY TIME PLASTIC SHR DEVELOP USING WET BURLAP, PLASTIC MEMBRANES OR FOGGING. PROTECT CONC IMES FROM RAIN, HAIL OR OTHER INJURIOUS EFFECTS.
- PROVIDE POUR STOP MATERIAL WHERE NOT INDICATED ON PLAN AS REQUIRED T

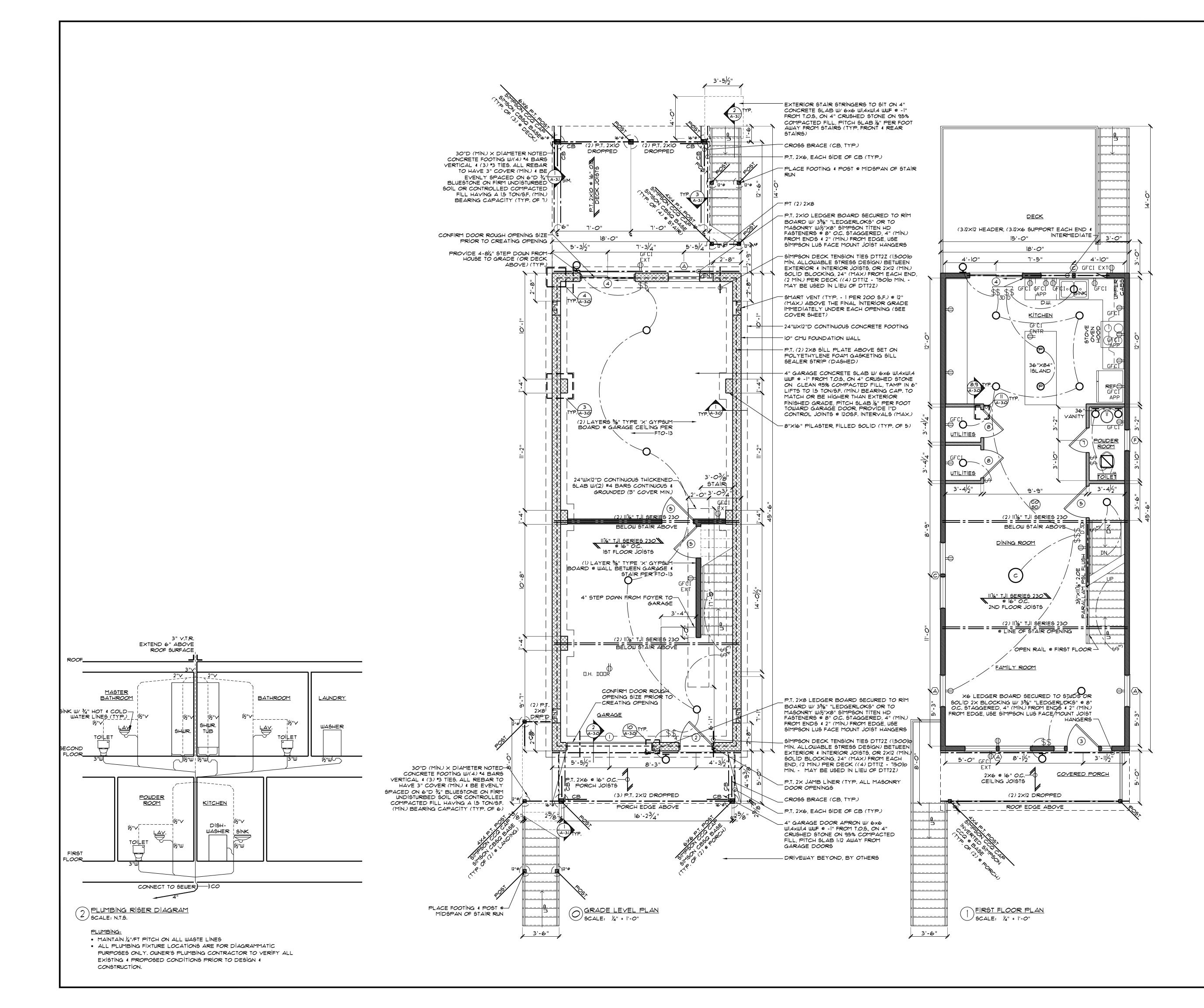
25.

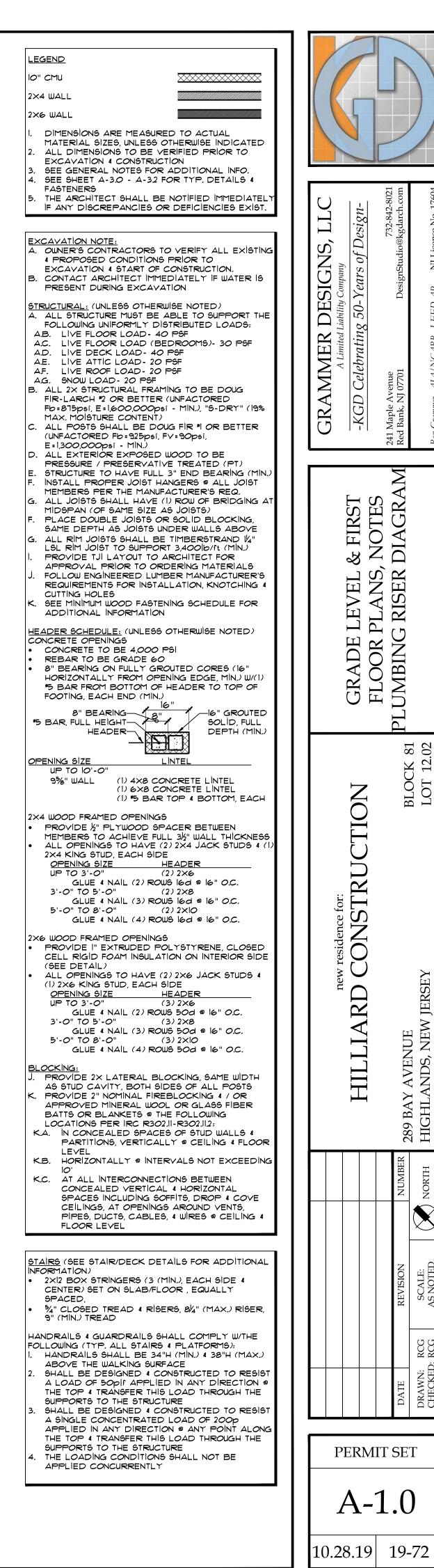
- WHEN CONCRETING IS TO BE DONE IN HOT WEATHER CONDITIONS THAT COULD AD PROPERTIES AND SERVICABILITY OF CONCRETE, PREPARATIONS + PROCEDURES SHOULD BE FOLLOWED.
- WHEN CONCRETING IS TO BE DONE IN COLD WEATHER CONDITIONS THAT COULD AN PROPERTIES AND SERVICABILITY OF CONCRETE, REPARATIONS & PROCEDURES C SHOULD BE FOLLOWED.
- CODE REQUIREMENTS FOR CONCRETE MASONRY CONSTRUCTION AND COMMENTARY CONCRETE MASONRY UNITS SHALL BE LAID IN RUNNING BOND UNLESS INDICATED B
- DRAWINGS. PROVIDE FULL BED AND HEAD JOINTS. 3. MASONRY UNITS SHALL BE GRADE N, TYPE I, MEDIUM WEIGHT HOLLOW CONCRETE UN ASTM COO. UNITS SHALL HAVE A MINIUM COMPRESSIVE STRENGTH (Fm) OF 1500 PSI SECTIONAL AREA AT 28 DAYS, UNITS SHALL NOT BE INSTALLED PRIOR TO ATTAINING
- CI50, TYPE I. LIME SHALL CONFORM TO ASTM C201 AND MAGONRY CEMENT SHALL
- GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A MINIMUM 28 DAY COMP 3000 PSI. SLUMP OF GROUT SHALL BE & TO 10 INCHES AND THE MAXIMUM AGGREG (AGGREGATE GRADED TO PRODUCE FINE GROUT IN CONFORMANCE WITH ASTM C478
- HORIZONTAL JOINT REINFORCING: ASTM A82: 9-GAGE TRUSS-TYPE, GALVANIZED. 1. DEFORMED BAR REINFORCEMENT SHALL CONFORM TO ASTM AG15, GRADE 60 4 SHA
- WALLS UNLESS OTHERWISE NOTED. PROVIDE BAR SPACERS & POSITIONERS AS REC LOCATE & STABILIZE REINFORCING DURING GROUTING OPERATIONS. GROUT ALL REIN 8. HOLLOW CONCRETE UNITS BELOW GRADE & SLAB ON GRADE SHALL BE NORMAL WE
- GROUTED SOLID.
- 10. LAP SPLICES FOR DEFORMED REINFORCING BARS SHALL BE 50 BAR DIAMETERS.
- THE INSPECTION AGENCY.
- CONCENTRATED OR OTHER LOADS FROM ABOVE.
- DOORFRAMES, LOUVERS, ETC. AS SHOWN ON THE ARCHITECTURAL DRAWINGS. NOTIFY ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION.
- 14. ALL MASONRY WORK TO BE EXECUTED IN COLD WEATHER SHALL BE IN CONFORMA RECOMMENDATIONS FOR COLD WEATHER CONSTRUCTION FOUND IN THE BUILDING CO MAGONRY STRUCTURES (AC) 530-95/ASCE 5-95/ AND SHALL BE CONSTRUCTED IN SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-95/ASCE 6-95) WITH THE FC ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED A FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED IN ACI 530.1.
- REINFORCING STEEL FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.

•	THE CONCRETE SUPPLIER SHALL SUBMIT MIX DESIGNS FOR REVIEW. COMPRESSIVE STRENGTH MUST BE <u>FR</u> SUBSTANTIATED BY A SUITABLE EXPERIENCE RECORD OR BY THE METHOD OF LABORATORY TRIAL I. BATCHES. THE PERTINENT CRITERIA OF CHAPTER 4 OF ACI 318-89 SHALL APPLY TO THE PROPORTIONING	E LUMBER SHALL COMPLY WITH AMERICAN SOFTWOOD LUMBER STANDARD, P.S. 20 (US DEP COMMISSION) 549, I. 19% MOISTURE AT TIME OF DRESSING. STRUCTURAL LUMBER AND FASTENERS SHALL BE ADEQUATELY	INIGHES (FINAL FINIGH SELECTION BY OWNER) FOLLOW MANUFACTURER'S INSTRUCTIONS ON APPLICATION OF ALL FINISH M
	OF MIX DESIGNS AND TO THE ACCEPTANCE OF CONCRETE PRODUCED FOR THE JOB. IF DURING CONSTRUCTION ANY CLASS CONCRETE FAILS TO MEET THE ACCEPTANCE CRITERIA, THE CONTRACTOR SHALL TAKE SUCH STEPS AS ARE DEEMED NECESSARY BY THE ARCHITECT TO IMPROVE SUBSEQUENT		. CLEAN SURFACES THOROUGHLY TO REMOVE ALL DIRT CHALK, OIL, GREAS OTHER SURFACE DEPOSITS TO A SOUND SURFACE. PREPARE IN ACCORDANC SPECIFICATIONS FOR APPLICATION OF FINISH.
	TEST RESULTS AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL ALSO BEAR THE COST OF SPECIAL INVESTIGATION, TESTING, OR REMEDIAL WORK NECESSARY BECAUSE OF EVIDENCE OF LOW 2. STRENGTH OR NON-CONFORMING CONCRETE OR WORKMANSHIP.	INSTALL PRESSURE TREATED LUMBER WHEN IN CONTACT WITH CONCRETE, MASONRY, EXTERIOR, OR GROUND, ³ PRESERVATIVE TREATMENT BY PRESSURE PROCESS: AWPA C2 (LUMBER) AND AWPA C3 (PLYWOOD).	. ALL NAIL OR SCREW HOLES, DENTS & HOLLOW PLACES, JOINTS & CRACKS, SHALL OIL PUTTY, COLORED TO MATCH ADJOINING WORK.
	MAXIMUM WATER/CEMENT RATIOS: FOUNDATIONS 0.50 EXTERIOR SLABS 0.44	EXCEPT THAT LUMBER THAT IS NOT IN CONTACT WITH THE GROUND AND IS CONTINUOUSLY PROTECTED FROM WATER MAY BE TREATED ACCORDING TO AWPA C3/2 WITH INORGANIC BORON (SBX), WOOD INDICATED ON 4 DRAWINGS AS "TREATED" SHALL BE CCA PRESSURE PRESERVATIVE TREATED DOUGLAS FIR 12 (MINIMUM)	. ALL WALLS TO BE PAINTED SHALL BE TAPED & SPACKLED, & SHALL RECEIVE PA OF SPECIFIED COLOR LATEX PAINT BY BENJAMIN MOORE, OR AS SELECTED BY
•	CONCRETE REINFORCEMENT BARS SHALL CONFORM TO ASTM A615-85, GRADE 60. THE "N" DESIGNATION SHALL BE ACCEPTED IN LIEU OF THE "S" DESIGNATION REQUIREMENT, HOWEVER, OTHER REQUIREMENTS SHALL BE MET. REINFORCEMENT BARS SHALL NOT BE TACK WELDED, WELDED, HEATED OR CUT UNLESS INDICATED ON THE CONTRACT DOCUMENTS OR APPROVED BY THE ARCHITECT. 3.	WITH A RETENTION LEVEL OF 242 LBS/CUBIC FT (RATED FOR GROUND CONTACT) AND KILN DRIED AFTER	ALL WOOD SHALL BE THOROUGHLY CLEANED PRIOR TO THE APPLICATION OF PL FINISH COATS, & SHALL RECEIVE SPECIFIED COLOR OIL BASE STAIN PLUS (3) CO POLYURETHANE VARNISH SATIN FINISH BY BENJAMIN MOORE, OR AS SELECTED E
).).	WELDED WIRE FABRIC WHEN USED SHALL CONFORM TO ASTM A185. FABRIC SHALL BE SUPPLIED IN FLAT	STRUCTURAL FRAMING SHALL BE #2 HEM FIR (MINIMUM) W/ A MINIMUM FIBER IN BENDING STRESS, MINIMUM FIBER SHEAR STRESS AND MINIMUM MODULES OF ELASTICITY AS REQUIRED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION "DESIGN VALUES FOR WOOD CONSTRUCTION".	DEPON COMPLETION, REMOVE ALL PAINT FROM WHERE IT WAS SPILLED, SPLASHEI SURFACES, INCLUDING LIGHT FIXTURES, DIFFUSERS, REGISTERS, SLAB FITTINGS, ET SHALL REMOVE ALL ELECTRICAL SWITCH PLATES & OUTLET PLATES, SURFACE HA PAINTING, PROTECTING & REPLACING SAME WHEN PAINTING HAS BEEN COMPLETE
•	GROUT SHALL BE NONSHRINKABLE GROUT CONFORMING TO ASTM C827, AND SHALL HAVE SPECIFIED	ALL PLYWOOD SHALL BE AMERICAN PLYWOOD ASSOC, (APA) RATED OF THE TYPE AND FOR THE SPANS INDICATED ON THE DRAWINGS.	ALL FLOOR SURFACES SHALL BE PREPARED PER THE MANUFACTURERS' INSTALL TO APPLICATION OF FINISH FLOOR MATERIAL, 4 SHALL BE INSTALLED PER MANUF
		ARCHITECT. DRILLING OF SMALL DIAMETER HOLES THROUGH STUDS OR PLATES FOR ELECTRICAL WIRING 1	<u>HARDWARE</u> . FURNISH AND INSTALL ALL HARDWARE AND SADDLES AS REQUIRED.
5.).	PROTECTION FOR REINFORCEMENT BARS SHALL FOLLOWS ACT 318-89 SECTION 1.1. ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. CONTRACTOR 1.	THE ENDS OF ALL WOOD BEAMS OR JOISTS RESTING ON A GIRDER SHALL BEAR NOT LESS THAN 3", OR	PROVIDE DOOR STOPS, TYPE TO SUIT, FOR ALL DOORS WHERE NECESSARY.
0.	SHALL SUPPLY ALL REQUIRED BARS, STIRRUPS OR CHAIRS AS SUPPORT FOR ALL BARS. THE INSPECTION AGENCY SHALL APPROVE ALL REINFORCING PRIOR TO PLACING OF CONCRETE.	SHALL BE SUPPORTED BY APPROVED METAL HANGERS. BEAMS OR JOISTS FRAMING FROM OPPOSITE 3 SIDES SHALL LAP AT LEAST 6 INCHES AND BE BOLTED OR NAILED TOGETHER! WHEN FRAMED END TO END THEY SHALL BE SECURED BY METAL TIES OR STRAPS. PROVIDE (2) 2X4 SUPPORT BELOW BOTH ENDS OF ALL DOOR 4 WINDOW HEADERS 4 SHALL BEAR NOT LESS THAN 3"	3. THRESHOLDS AT EXTERIOR DOORS, PROVIDE MANUFACTURER'S STANDARD THRE COORDINATED FOR OPERATING HARDWARE, WITH ANCHORS AND JAMB CLIPS, 4 HIGH, WITH BEVELED EDGES PROVIDING A FLOOR LEVEL CHANGE WITH A SLOPE
•	BONDING AGENT SHALL BE USED WHERE NEW CONCRETE IS PLACED AGAINST EXISTING CONCRETE. 8. ALL INSERTS AND SLEEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE. DRILLED OR POWDER	ALL DOOR & WINDOW HEADERS & SHALL BEAR NOT LESS THAN 3 BEARING WALLS & POSTS SHALL BE CONSTRUCTED IN SUCH A MANNER TO PROVIDE ADEQUATE SUPPORT FOR ALL MATERIALS USED TO ENCLOSE THE BUILDING & PROVIDE FOR THE TRANSFER OF ALL LATERAL	4. WEATHER SWEEPS: MANUFACTURER'S STANDARD WEATHER SWEEP FOR APPLICAT BOTTOMS AND WITH CONCEALED FASTENERS ON MOUNTING STRIPS.
	ALL INSERTS AND SLEEVES SHALL BE CAST-IN-PLACE WHENEVER FEASIBLE. DRILLED OR FOULDER DRIVEN FASTENERS WILL BE PERMITTED WHEN PROVEN TO THE SATISFACTION OF THE ARCHITECT THAT THE FASTENERS WILL NOT SPALL THE CONCRETE AND HAVE THE SAME CAPACITY AS CAST-IN-PLACE INSERTS. WHEN INSTALLING EXPANSION BOLTS OR ADHESIVE ANCHORS, THE CONTRACTOR SHALL TAKE MEASURES TO AVOID DRILLING OR CUTTING OF ANY EXISTING REINFORCING AND DESTRUCTION OF CONCRETE. HOLES SHALL BE BLOWN CLEAN PRIOR TO PLACING BOLTS OR ADHESIVE ANCHORS.	FOR ALL MATERIALS USED TO ENCLOSE THE BUILDING & PROVIDE FOR THE TRANSFER OF ALL LATERAL LOADS TO THE FOUNDATION. POSTS & STUDS IN A BEARING WALL ARE STRUCTURAL COLUMNS & SHALL BE LATERALLY SUPPORTED WITH SHEATHING, INTERMEDIATE BRACING, HORIZONTAL BRIDGING, WALL COVERING, AND FLOOR & ROOF CONSTRUCTION. PLACE DOUBLE JOISTS OR SOLID BLOCKING (OF SAME SIZE AS JOISTS) UNDER WALLS ABOVE.	5. WEATHER STRIPPING: MANUFACTURER'S STANDARD REPLACEABLE WEATHER STR COMPRESSION WEATGER STRIPPING, MOLDED NEOPRENE COMPLYING WITH ASTM MOLDED PVC COMPLYING WITH ASTM D 2281 REQUIREMENTS.
З.	PREPARE CONCRETE TEST CYLINDERS FROM EACH DAY'S POUR. CYLINDERS SHALL BE PROPERLY 10.	ALL JOISTS SHALL HAVE (1) ROW OF BRIDGING AT MIDSPAN (OF SAME SIZE AS JOISTS)	5. KEYING AND FUNCTION FOR ALL DOORS SHALL BE AS SELECTED BY OWNER. 1ECHANICAL ELECTRICAL 4 PLUMBING
4.	CURED AND STORED. SAMPLE FRESH CONCRETE IN ACCORDANCE WITH ASTM CI12. II. RETAIN LABORATORY TO PROVIDE TESTING SERVICE. SLUMP PER ASTM CI43L AIR CONTENT PER ASTM C231 OR CI13, CYLINDER TESTS PER ASTM C31 AND C39. ONE SET OF SIX (6) CYLINDERS FOR EACH 50 CUBIC YARDS FOR EACH MIX USED. REPORTS OF ALL TESTS TO BE SUBMITTED TO THE ARCHITECT.	ALL EXPOSED WOOD TRIM & ROOF COVERING SHALL BE NAILED SECURELY W/ ALUMINUM, COPPER, ZINC-COATED STEEL OR OTHER APPROVED CORROSION RESISTIVE NAILS IN ACCORDANCE WITH REQUIREMENTS STATED IN THIS SECTION, SHINGLES AND OTHER WEATHER COVERINGS SHALL BE ATTACHED WITH APPROPRIATE STANDARD NAILS OR APPROVED MECHANICALLY BONDING NAILS.	OUNER'S ENGINEERS SHALL PREPARE AND SUBMIT PLANS, RISER DIAGRAMS, CAI EXCEPT AS OTHERWISE INDICATED ON THE DRAWINGS. CHANGES TO ACCOMMOD WORK WITH OTHER WORK OR IN ORDER TO MEET ARCHITECTURAL OR STRUCTURA PERMITTED AND MADE WITHOUT ADDITIONAL COST TO OWNER.
b .	MIXING, TRANSPORTING AND PLACING OF CONCRETE SHALL CONFORM TO ACI 301-89, 12.	FOLLOW TJİ MANUFACTURER'S REQUIREMENTS FOR CUTTING HOLES IN WEBS, FLANGES SHALL NOT BE CUT	FOR PURPOSES OF CLARITY, SYSTEM LAYOUTS ARE GENERALLY DIAGRAMMATIC. EQUIPMENT ARE APPROXIMATE. EXACT ROUTING OF SYSTEMS SHALL BE GOVERN
<i>b.</i>		<u>NIGH CARPENTRY</u> FINIGH CARPENTRY SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION OF DOORS AND FRAMES, WINDOWS, FINISH HARDWARE AND MILLWORK, AND BE MADE OR INSTALLED IN ACCORDANCE WITH	CONDITIONS AND OBSTRUCTIONS, SYSTEMS REQUIRING MAINTENANCE AND INSPEC ACCESSIBLE, CONTRACTOR SHALL ARRANGE & COORDINATE THE WORK, FURNISH VENTS & FITTINGS TO AVOID CONFLICT WITH OTHER MECHANICAL, PLUMBING & ELE
1.	REPAIR CONCRETE EXHIBITING VOIDS DUE TO SNAP TIES, "HONEYCOMBS," ROCK POCKETS, AND RUNS, SPALLS OR OTHERWISE DAMAGED SURFACES WITH DRY PACK OR CEMENT GROUT, AND FINISH FLUSH WITH	MEASUREMENT TAKEN ON THE JOB. SCRIBE, MITER AND JOIN ACCURATELY TO CONFORM TO DETAILS. EXPOSED SURFACES SHALL BE MACHINE SANDED, READY FOR FINISHING: ALLOW FOR THE FREE MOVEMENT OF ALL WINDOWS, DOORS AND PANELS, COUNTERSINK ALL NAILS.	STRUCTURAL & ARCHITECTURAL ELEMENTS WITHOUT ADDITIONAL COST TO THE OU CONFLICT ARE ENCOUNTERED THE ARCHITECT SHALL BE NOTIFIED & THE CONTRA RECOMMENDATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR APPROVAL B
	ADJOINING SURFACES. AT THE DISCRETION OF THE ARCHITECT OR AS QUALIFIED BY LAB TESTING,	WHEN THE PROJECT IS COMPLETED, DOORS SHALL NOT BIND, STICK OR BE MOUNTED SO AS TO CAUSE ³ FUTURE HARDWARE DIFFICULTIES. DOOR AND WINDOW FRAMES SHALL BE INSTALLED SQUARE AND PLUMB.	. ALL WORK SHALL BE BY A QUALIFIED, LICENSED SUBCONTRACTOR OF THE PROF 3 YEARS OF EXPERIENCE IN SIMILAR WORK, SUBCONTRACTOR SHALL CHECK AND
3.	CONTRACTOR SHALL TAKE EVERY PRECAUTION TO PROTECT FINISHED SURFACES FROM STAINS OR 3. ABRASIONS, NO FIRE SHALL BE ALLOWED IN DIRECT CONTACT WITH CONCRETE, PROVIDE ADEQUATE	FOR DOORS, USE HARDWARE TEMPLATES FURNISHED BY THE HARDWARE MANUFACTURER. BE SURE THAT HINGES ARE SET IN A STRAIGHT LINE TO PREVENT DISTORTION. FINISHED CLEARANCE BETWEEN DOOR AND 4	AND DEMAND LOADS FOR BOTH NEW AND EXISTING UNITS.
		FRAME SHALL BE $\&$ INCH, MAXIMUM. PROVIDE ALL NECESSARY PLYWOOD BLOCKING AS REQUIRED TO SUPPORT SHELVING, CABINETRY, ETC.	HVAC SYSTEM WITH ALL HEATERS, RADIATORS, REGISTERS, DUCTWORK & ANY OTH NECESSARY ALL EXHAUST FANS SHALL VENT DIRECTLY TO THE EXTERIOR.
Э.	Lest Cillinders shall be taken from the hose end for concrete placed by putip. [.	- <u>MPSON STRONG-TIE CONNECTORS</u> (UNLESS OTHERWISE NOTED IN THE SIMPSON CATALOG) MATERIALS SHALL BE MANUFACTURED BY THE FOLLOWING ST (ARDS - STEEL SHEET: ASTM A36, ASTM A653, ASTM AIO(1): FASTENERS; ASTM A307, ASTM F1554, ASTM F1667, SAE CIO22 (SDS SCREWS): STAINLESS STEEL	LOT LINES, OTHER BUILDINGS, EXHAUST FAN DISCHARGES, CHIMNEYS, FLUES, VENT LOADING DOCKS, PLUMBING VENTS, AND ALL OTHER CONTAMINANT SOURCES.
0.	WATER SHALL NOT BE ADDED TO THE CONCRETE AT THE JOBSITE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE THE REQUIREMENTS OF THE CONCRETE SUPPLIER AND PUMPER TO ENSURE PUMPABLE AND WORKABLE MIX WITHOUT THE ADDITION OF WATER AT THE JOBSITE. THE USE OF PLASTICIZERS, RETARDANTS AND OTHER ADDITIVES SHALL BE AT THE OPTION OF THE CONTRACTOR SUBJECT TO THE APPROVAL OF THE ARCHITECT. FOLLOW THE RECOMMENDATIONS OF THE		THE CONTRACTOR SHALL FURNISH AND INSTALL ALL LIGHTING FIXTURES AND ELE OR IMPLIED ON ALL DRAWINGS AND NOTES. THE CONTRACTOR SHALL PROVIDE , FOR ALL TRADES, AS REQUIRED.
1.	MANUFACTURER FOR PROPER USE OF RETARDANTS AND OTHER ADDITIVES. USE OF CALCIUM E CHLORIDE ^{2.} OR OTHER CHLORIDE BEARING SALTS SHALL NOT BE PERMITTED. PLACE CONCRETE IN A MANNER SO AS TO PREVENT SEGREGATION OF THE MIX. DELAY FLOATING AND	ALLOWABLE LOADS FOR HANGERS ARE DETERMINED BY A STATIC LOAD TEST RESULTING IN NOT MORE 7. THAN A 1/8" DEFLECTION OF THE JOIST RELATIVE TO THE HEADER, OR EITHER THE LOWEST OF 3 OR AVERAGE OF 6 ULTIMATE LOAD DIVIDED BY 3, OR THE FASTENER ALLOW, LOAD AS DET. BY THE NDS, WHICHEVER IS LOWEST. 8	 OFFSET WALL RECEPTACLES LOCATED BACK TO BACK A MIN, OF 3". ALL SWITCHI LOCATED SIDE BY SIDE TO BE GANGED WITHIN A SINGLE PLATE UNLESS OTHERU PROVIDE GROUND FAULT CIRCUIT INTERRUPT OUTLETS WITHIN SIX FEET OF ANY WA IN BASEMENTS, KITCHENS, LAUNDRIES, BATHROOMS, AND AS INDICATED ON PLAN
	TROWELING OPERATIONS UNTIL THE CONCRETE HAS LOST SURFACE WATER SHEEN OR ALL FREE SLAB SURFACE. FINISHING OF SLAB SURFACES SHALL COMPLY WITH ACI RECOMMENDATIONS 302-89 AND 304-89 FOR GARAGES.	ALLOWABLE LOADS ARE FOR DOUGLAS FIR-LARCH UNDER CONTINUOUSLY DRY CONDITIONS. ALLOWABLE LOADS FOR OTHER SPECIES OR CONDITIONS MUST BE ADJUSTED ACCORDING TO THE CODE. SEE 9 MANUFACTURER'S CATALOG FOR ADDITIONAL NOTES & REQUIREMENTS.). PLUMBING WORK INCLUDES ALL SUPPLY, WASTE AND VENT PIPING, COMPLETE INS SHUTOFF VALVES FOR EACH FIXTURE GROUP, AND COMPLETE INSTALLATION OF A HEATER IF NECESSARY NATURAL GAS AND PROPANE PIPING INCLUDING SERVIC
2.	CONTINUOUSET WATERED BURLAF, WATERFROOF HEIDRANES, SFRATED-ON LIQUID HEIDRANE	BOLTS, SCREWS 4/OR NAILS SHALL NOT BE COMBINED, ALL NAILS SHALL BE COMMON	APPLIANCES AND FURNACES SHALL BE INCLUDED, WASTE PIPING SHALL BE APP PIPING SHALL BE TYPE "K" OR "L" COPPER PIPE.
3.	REFER TO THE MANUFACTURER'S SPECIFICATIONS FOR REQUIREMENTS. PROTECT THE CONCRETE SURFACE ⁵ . BETWEEN FINISHING OPERATIONS ON HOT, DRY DAYS OR ANY TIME PLASTIC SHRINKAGE CRACKS DEVELOP USING WET BURLAP, PLASTIC MEMBRANES OR FOGGING. PROTECT CONCRETE DECK AT ALL TIMES FROM RAIN, HAIL OR OTHER INJURIOUS EFFECTS. 6.		D. TESTING & BALANCING OF ALL SYSTEMS SHALL BE BY AN APPROVED FIRM QUAL BALANCING DISCIPLINES SIMILAR TO THOSE REQUIRED FOR THIS PROJECT. THE E COMPLY WITH ALL CODES, REGULATIONS & STANDARDS
4. 5.	PROVIDE POUR STOP MATERIAL WHERE NOT INDICATED ON PLAN AS REQUIRED TO COMPLETE JOB. WHEN CONCRETING IS TO BE DONE IN HOT WEATHER CONDITIONS THAT COULD ADVERSELY AFFECT THE PROPERTIES AND SERVICABILITY OF CONCRETE, PREPARATIONS & PROCEDURES OUTLINED IN ACI 305R-91	A FASTENER THAT SPLITS THE WOOD WILL NOT CARRY THE ALLOW. LOAD. EVALUATE SPLITS TO DETERMINE	SMART VENT MODEL 1540-510, 16"x8," OWNER SELECTED COLOR, CONSTRUCTION, CODE COMPLIANT, FEMA ACCEPTED, ICC-ES EVA
6.	SHOULD BE FOLLOWED. WHEN CONCRETING 16 TO BE DONE IN COLD WEATHER CONDITIONS THAT COULD ADVERSELY AFFECT THE PROPERTIES AND SERVICABILITY OF CONCRETE, REPARATIONS & PROCEDURES OUTLINED IN ACI 306R-88 SHOULD BE FOLLOWED.	IF THE CONNECTION WILL PERFORM AS REQUIRED. DRY WOOD WILL SPLIT MORE EASILY & SHOULD BE	 200 S.F. FLOOD COVERAGE PER VENT, 51 S.I. AIR VENTILATION PER FLOOD PROTECTION: THE VENT DOOR IS LATCHED CLOSED UNTIL CONTACT WITH FLOOD WATER. ENTERING FLOOD WATER LIFTS THE
		BUILT-UP LUMBER (MULTIPLE MEMBERS) MUST BE FASTENED TOGETHER TO ACT AS ONE UNIT TO RESIST THE APPLIED LOAD.	FLOATS WHICH UNLATCH AND ALLOW THE DOOR TO ROTATE OPEN FLOOD WATER TO AUTOMATICALLY ENTER AND EXIT THROUGH TH RELIEVING THE PRESSURE FROM THE FOUNDATION WALLS. CERTIF CLEARANCE IS DEMONSTRATED WITH A 340 AMETER OPENING WH
	CODE REQUIREMENTS FOR CONCRETE MASONRY CONSTRUCTION AND COMMENTARY" LATEST EDITION.	FILL ALL FASTENER HOLES WITH FASTENER TYPES AS SPECIFIED IN THE MANUFACTURER'S CATALOG.	IS ACTIVATED.
-	DRAWINGS. PROVIDE FULL BED AND HEAD JOINTS.	. ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE CATALOG. BOLT HOLES SHALL BE A MIN. OF $\frac{1}{32}$ " & A MAX. OF $\frac{1}{6}$ " LARGER THAN THE BOLT DIAMETER (2005 NDS II.122).	LOUVERS AS TEMPERATURE CHANGES, NO ELECTRICITY IS REQUI WILL BE FULLY CLOSED AT 35F & FULLY OPEN AT 35F. IN THE EVE INTERNAL FLOATS LIFT TO RELEASE THE FLOOD DOOR TO ROTAT
	SECTIONAL AREA AT 28 DAYS UNITS SHALL NOT BE INSTALLED PRIOR TO ATTAINING THE 28 DAY STRENGTH.	INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.	THE HYDROSTATIC PRESSURE REGARDLESS OF THE LOUVERSOF
•	MORTAR SHALL CONFORM TO ASTM C210, TYPE M OR S. ALL PORTLAND CEMENT SHALL CONFORM TO ASTM C150, TYPE I. LIME SHALL CONFORM TO ASTM C201 AND MASONRY CEMENT SHALL CONFORM TO ASTM C31.		
-	GROUT SHALL CONFORM TO ASTM C416 AND SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI. SLUMP OF GROUT SHALL BE 8 TO 10 INCHES AND THE MAXIMUM AGGREGATE SIZE SHALL BE 3/8"	ANCHOR BOLT NUTS SHOULD BE FINGER-TIGHT PLUS 1/3 TO ½ TURN WITH A WRENCH, DO NOT USE AN IMPACT WRENCH TO TIGHTEN NUTS ON THE ANCHOR BOLTS. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD ONLY BE MADE BY A	
•		QUALIFIED DESIGNER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURE IS THE SOLE RESPONSIBILITY OF THE DESIGNER.	
b.,	LOCATE & STABILIZE REINFORCING DURING GROUTING OPERATIONS. GROUT ALL REINFORCED CELLS SOLID. I. HOLLOW CONCRETE UNITS BELOW GRADE & SLAB ON GRADE SHALL BE NORMAL WEIGHT & HAVE ALL CELLS	THESE PRODUCTS SHALL BE DESIGNED AND MANUFACTURED TO THE STANDARDS SET FORTH IN THE ICC EVALUATION SERVICE, INC. REPORT ESR-1381. ADHESIVES SHALL BE OF THE WATERPROOF TYPE CONFORMING TO THE REQUIREMENTS OF ASTM D-2559.	
	2. INSTALL TEMPORARY BRACING REQUIRED INSURING STABILITY OF ALL WALLS DURING CONSTRUCTION .	ALL STRUCTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND ANY ILEVEL TRUS JOIST DRAWINGS AND INSTALLATION INSTRUCTIONS, TEMPORARY CONSTRUCTION LOADS THAT CAUSE STRESSES	
	LAP SPLICES FOR DEFORMED REINFORCING BARS SHALL BE 50 BAR DIAMETERS. GROUT PLACEMENT SHALL NOT START UNTIL THE PLACEMENT OF REINFORCING HAS BEEN APPROVED BY	BEYOND DESIGN LIMITS ARE NOT PERMITTED. SAFETY BRACING IS TO BE PROVIDED BY THE INSTALLER TO KEEP THE STRUCTURE STRAIGHT AND PLUMB AS REQUIRED AND TO ASSURE ADEQUATE LATERAL SUPPORT FOR THE INDIVIDUAL STRUCTURE MEMBERS AND THE ENTIRE SYSTEM.	
	THE INAPECTION AGENCY	ATT AND BOARD INSULATION BATT INSULATION SHALL BE FIBERGLASS W/ FOIL FACE, THE WIDTH OF FRAMING SPACING, & THE THICKNESS & R-VALUE AS INDICATED ON THE DRAWINGS, APPROVED MANUFACTURERS SHALL BE CERTAINTEED CORP.	ENERGY CA
3.	CONCENTRATED OR OTHER LOADS FROM ABOVE. THE CONTRACTOR SHALL VERIFY ALL OPENINGS BELOW LINTELS INDICATED ARE ADEQUATE TO ACCEPT	NSULATION SHALL BE INSTALLED IN ACCORDANCE WITH THE MFR.'S RECOMMENDATIONS AND THE	PER THE UNIFORM CONST 5:23-2.15 (F)I.vi (ENERGY (
	DOORFRAMES, LOUVERS, ETC. AS SHOWN ON THE ARCHITECTURAL DRAWINGS, NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO LINTEL INSTALLATION. ALL MASONRY WORK TO BE EXECUTED IN COLD WEATHER SHALL BE IN CONFORMANCE WITH THE	FOLLOWING: LEAVE NO GAPS IN INSULATION ENVELOPE INSTALL BETWEEN JAMBS AND FRAMING, BEHIND PLUMBING AND WIRING.	ARE REQUIRED TO DEMO THE ENERGY SUBCODE & CONSERVATION CODE (IE
	RECOMMENDATIONS FOR COLD WEATHER CONSTRUCTION FOUND IN THE BUILDING CODE REQUIREMENTS FOR [, MASONRY STRUCTURES (ACI 530-95/ASCE 5-95) AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.I-95/ASCE 6-95) WITH THE FOLLOWING ADDITIONS: FOR ALL CONDITIONS WHEN TEMPERATURES FALL BELOW 40 DEGREES F, THE TEMPERATURE OF THE NEWLY LAID MASONRY OR NEWLY GROUTED MASONRY SHALL BE MAINTAINED ABOVE 32 DEGREES F FOR A MINIMUM OF 24 HOURS USING THE METHODS DESCRIBED IN ACI 530.I.	<u>YPSUM BOARD</u> ALL GYPSUM BOARD ON WALLS AND CEILINGS SHALL BE 1/2 INCH THICK WITH TAPERED EDGES AND PAPER FACING SUITABLE FOR PAINTING. FASTEN WITH 1-5/8 INCH BUGLE HEAD SCREWS, TYPE W AT I INCHES ON CENTER MAXIMUM. PROVIDE AND INSTALL MFR.'S STANDARD METAL TRIM ACCESSORIES OF THE BEADED TYPE WITH FACE FLANGES FOR CONCEALMENT IN JOINT COMPOUND. CORNER BEADS AT ALL EXTERIOR CORNERS. JOINT COMPOUND SHALL BE AS RECOMMENDED BY THE GYPSUM BOARD MANUFACTURER.	APPLICATION PROCESS F BUILDING OR ADDITION. T CLIMATE ZONE 4, COMPLI PACKAGE OPTION NO.4, E
b.	THE TESTING AND INSPECTION AGENCY SHALL MONITOR THE PROPORTIONING, MIXING, AND CONSISTENCY OF 2. MORTAR AND GROUT: THE PLACEMENT OF MORTAR, GROUT, AND MASONRY UNITS: AND THE PLACEMENT OF REINFORCING STEEL FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS.	PROVIDE WATER RESISTANT BOARDS THROUGHOUT RESTROOMS. INSTALL GYPSUM BOARD IN LENGTHS AND DIRECTIONS WHICH WILL MINIMIZE THE NUMBER OF END JOINTS AND AVOID JOINTS IN THE CENTRAL AREA OF THE CEILING. JOINTS AT THE BOTTOM OF ALL WALLS SHALL RECAME FOR WITH A LATEX CAURY FOR SOLND ISOLATION.	WOOD FRAMED CONSTRU 2015 IEC CODE CHAPTER
		BE CAULKED WITH A LATEX CAULK FOR SOUND ISOLATION. APPLY JOINT TAPE AND JOINT COMPOUND AT JOINTS OF GYPSUM BOARDS IN BOTH DIRECTIONS, APPLY COMPOUND AT ACCESSORY FLANGES, PENETRATIONS, FASTENER HEADS AND SURFACE DEFECTS. INSTALL COMPOUND IN 3 COATS (PREFILL CRACKS AS RECOMMENDED BY MFR.)! SAND AFTER LAST 2 COATS AND PREPARE SURFACE FOR PAINTED FINISH.	FENESTRATION (U) CEILING (R) WALL (R) FLOOR (R) * 402.2.1 ALLOWS R
			HEIGHT OF UNCOMPR EXTENDS OVER THE

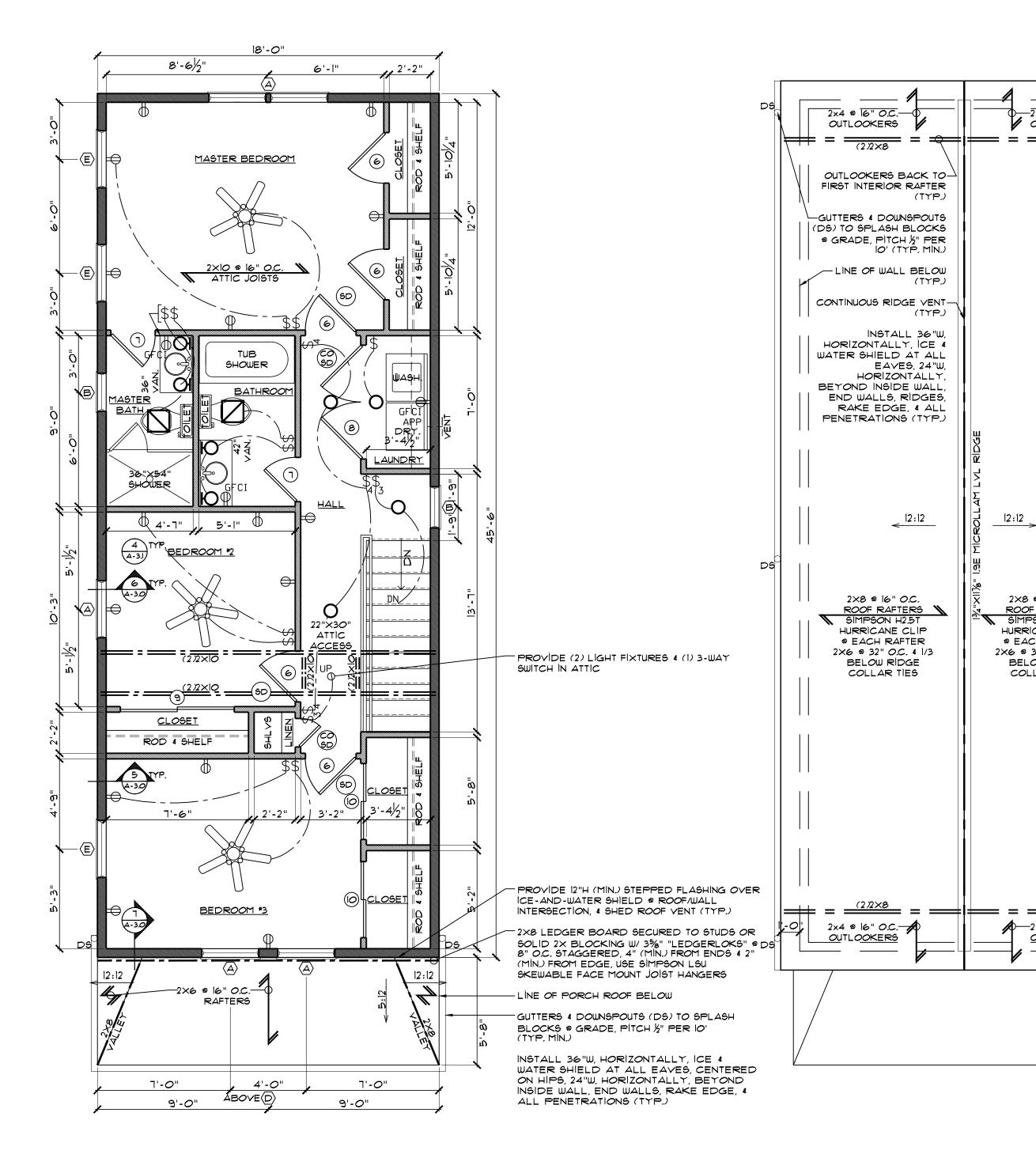
EAVES"

H MATERIALS ASE, LOOSE PAINT OR ANCE WITH MANUFACTURERS new residence for: ALL BE FILLED WITH LINSEED HILLIARD E PRIMER PLUS TWO (2) COATS BY THE OWNER. PRIMING OR STAINING 4 CONSTRUCTION COATS OIL BASE D BY THE OWNER. CHED OR SPLATTERED ON ETC. PAINTING CONTRACTOR 289 BAY AVENUE HARDWARE, ETC. BEFORE LL HIGHLANDS, NEW JERSEY ALLATION INSTRUCTIONS PRIOR S, Block 81, Lot 12.02 ANUFACTURERS' INSTRUCTIONS. DESIG] CODE CONFORMANCE HRESHOLD WITH CUTOUTS PS, 4 NOT MORE THAN 1/2" INCH OPE OF NOT MORE THAT 1:2. BUILDING STATISTICS ER USE GROUP: R 5 CATION TO EXTERIOR DOOR CONSTRUCTION TYPE: $\vee B$ IMM ZONING: R201 STRIPPING AS FOLLOWS: TM D 2000 REQUIREMENTS OR BUILDING STATISTICS: GRADE LEVEL AREA: 819 S.F. GR 5 PROPOSED) (| FLOOD VENT/200 S.F. 762 S.F. FIRST FLOOR AREA: SECOND FLOOR AREA 736 S.F. CALCULATIONS, AND DETAILS, TOTAL LIVING AREA: 2,317 S.F. IODATE INSTALLATION OF THIS JRAL CONDITIONS SHALL BE 24,7657 S.F VOLUME: TIC. LOCATION OF SYSTEMS 4 ERNED BY STRUCTURAL PECTION SHALL BE READILY APPLICABLE CODES NIGH NECESSARY OFFSETS INTERNATIONAL RESIDENTIAL CODE, NJ ED 2015 ELECTRICAL SERVICES, INTERNATIONAL MECHANICAL CODE 2015 OWNER. IF AREAS OF NATIONAL STANDARD PLUMBING CODE 2015 TRACTOR'S . BEFORE WORK 19 BEGUN. 2014 NATIONAL ELECTRIC CODE Ţ Ē 2015 INTERNATIONAL FIRE CODE ZZ Z ROPER TRADE WITH AT LEAST 2015 • INTERNATIONAL ENERGY CONS. CODE AND VERIFY UNIT CAPACITIES SF ADDITIONAL STANDARDS: NH RA NING, BALANCED & TESTED THIS PROPERTY IS IN THE FEMA FLOOD ZONE 'AE' & OTHER ACCESSORIES IS DESIGNED PER THE REQUIREMENTS OF THE ОнС INTERNATIONAL RESIDENTIAL CODE, 2015 NJ EDITION ŨΖΨ $\overline{\mathbf{O}}$ A MINIMUM OF 10'-O" FROM (IRC) SECTION R322.2 'FLOOD HAZARD AREAS, ENTS, PARKING AREAS, INCLUDING A ZONES' SI GL 2. PROPERTY SHALL BE IN CONFORMANCE ELECTRICAL WORK AS SHOWN W/APPLICABLE DESIGN & CONSTRUCTION ~ DE ALL TEMPORARY LIGHTING STANDARDS OF THE FLOOD HAZARD AREA CONTROL ACT N.J.S.A. 58:15A-50 ET. SEQ., \$ IMPLEMENTING RULES AS N.J.A.C. 7:13 CHES AND/OR DIMMERS 3. FLOOD VENTS SHALL CONFORM W/STANDARD 44 ERWİSE NOTED. CFR PART 60 AND FEMA TECHNICAL BULLETIN I WATER SOURCE IN GARAGES, 4. DECK, STAIRS, RAMPS AND EQUIPMENT SHALL AN (GFI OR GFCI) CONFORM W/THE REQUIREMENTS OF THE FEDERAL N 2 INSTALLATION OF FIXTURES, FLOOD REDUCTION STANDARD 44 CFR PART 60 OF ANY REQUÍRED HOT WATER AND FEMA'S TECHNICAL BULLETIN 5 IVICE CONNECTION TO ALL GAS ALL MATERIALS INSTALLED BELOW THE DESIGN PPROVED PVC, SUPPLY FLOOD ELEVATION SHALL BE CONSTRUCTED OF FLOOD RESISTANT MATERIALS IN ACCORDANCE UALIFIED IN THOSE TESTING 4 W/THE INTERNATIONAL RESIDENTIAL CODE, NJ ED THE BALANCING FIRM SHALL 2015, IRC 322.1.8 & THE NATIONAL FLOOD INSURANCE PROGRAM 6. CONTRACTOR SHALL CONFORM TO THE STANDARDS/ SPECIFICATIONS SET FORTH IN THE R, ALL STAINLESS STEEL, \sim VALUATED NEW JERSEY RREM PROGRAM "MINIMUM HOUSING REHABILITATION STANDARDS," LATEST ED, IF PER VENT APPLICABLE TO THIS PROJECT NTIL IT COMES IN HE PATENTED INTERNAL NOTIFY ARCHITECT IMMEDIATELY, IF THESE DRAWINGS PEN. THIS ALLOWS THE DEVIATE FROM THE REQUIREMENTS SET FORTH IN THE THE FRAME OPENING LATEST CODES & STANDARDS TIFIED FLOOD DEBRIS WHEN THE FLOOD DOOR \cap ES THE VENTILATION K QUIRED, THE LOUVERS VENT OF A FLOOD THE TATE OPEN & RELIEVE POSITION. ENUJ S, NH DRAWING INDEX CS-1.0 COVER SHEET, CODE CONFORMANCE, HIL GENERAL NOTES & SPECIFICATIONS Y AV ANI GRADE LEVEL & FIRST FLOOR PLANS, NOTES A-1.0 AΥ PLUMBING RISER DIAGRAM 1GF A-I.I SECOND FLOOR & ROOF PLANS, SCHEDULES A-2.0 ELEVATIONS A-3.0 DETAILS A-3.I DETAILS FASTENING SCHEDULE A-3.2 ALCULATIONS ELEVATION INFORMATION **ELEVATIONS** STRUCTION CODE N.J.A.C. FLOOD ZONE: AE Y CALCULATIONS), APPLICANTS PROPOSED GARAGE: 6.0' 10NSTRATE COMPLIANCE WITH PROPOSED FINISHED FLOOR: 15.0' & 2015 INTERNATIONAL ENERGY (UTILITIES SHALL BE NO LOWER (IEC) AS PART OF THE PERMIT THAN THIS ELEVATION) 5 FOR A NEWLY CONSTRUCTED BASE FLOOD ELEVATION (BFE): ||O|THIS PROJECT, LOCATED IN NAVD88 BFE ELEVATION DATUM: PLIES WITH THE PRESCRIPTIVE , BULLETIN NO. 11-1, AS FOLLOWS: ALL AREAS BELOW THE FINISHED FLOOR SHALL BE FOR STORAGE ONLY RUCTION ER 4 REQUIRED PROPOSED PERMIT SET 0.35 </= *0*.32 49 / 38* 38 * 20 CS-IR-38 "WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE 10.28.19 19-72

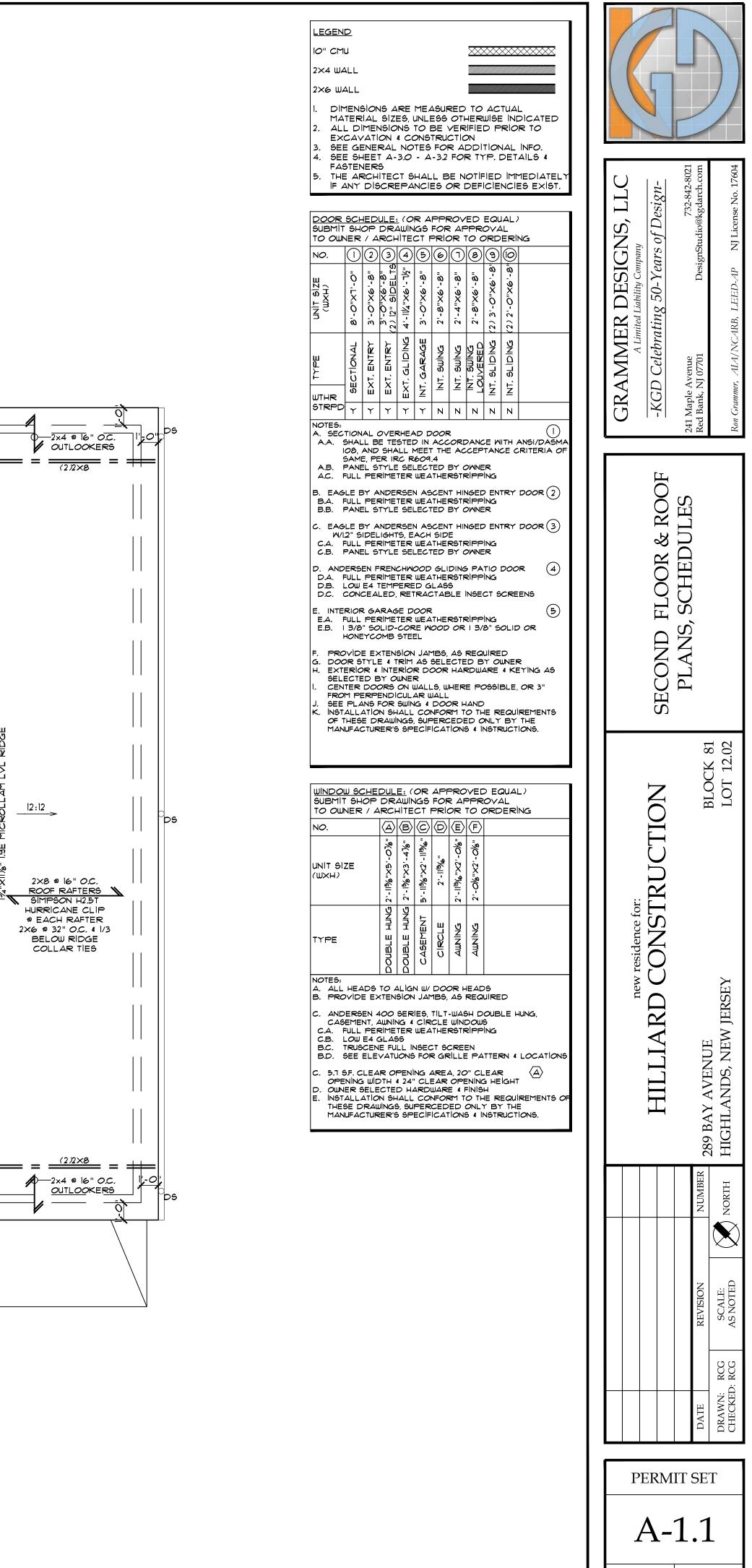




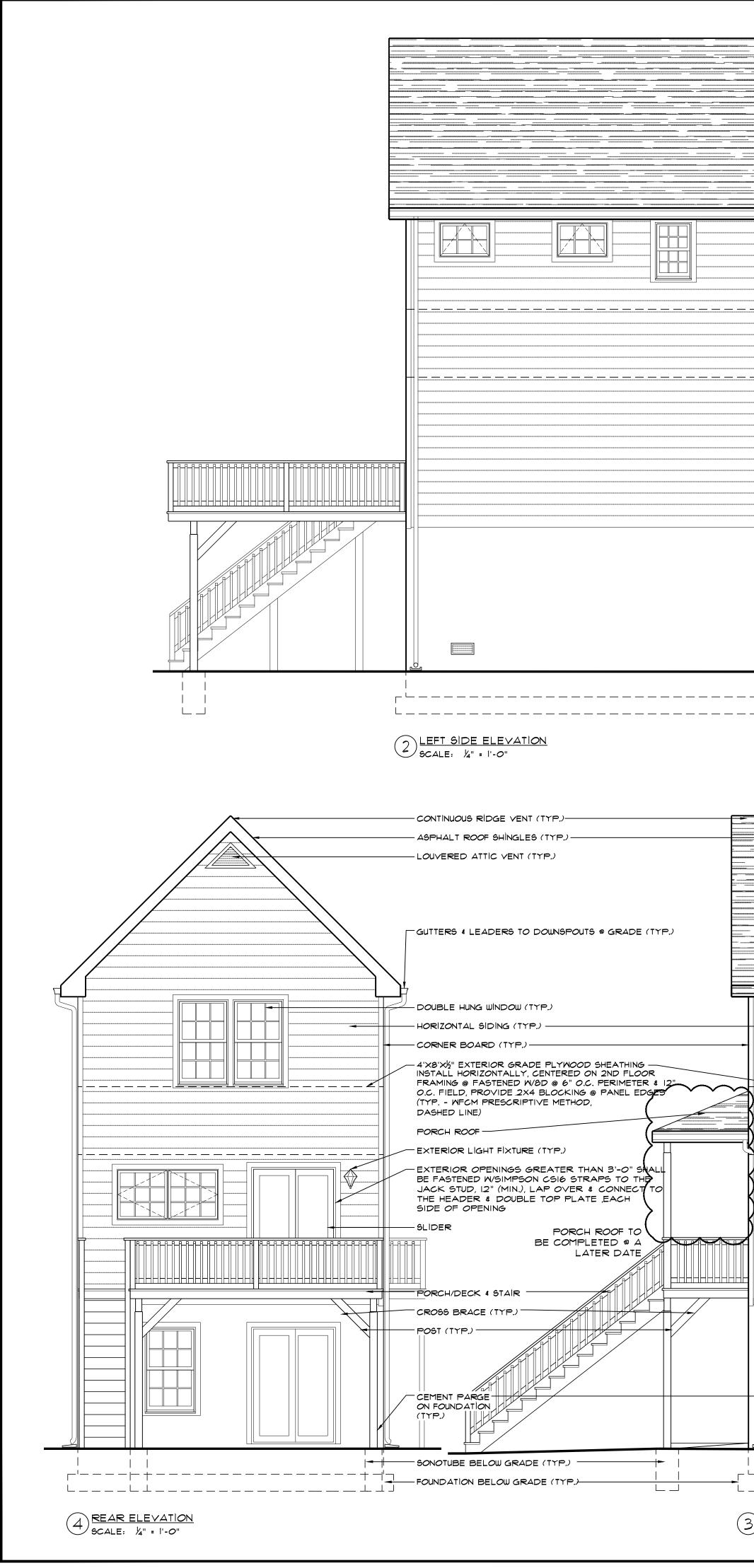
GRADE LEVEL G GRADE LEVEL G GARAGE F3 FOYER F2 FRST FLOOR PORCH PORCH F1 FINING ROOM F1 PUING ROOM F1 VITLUTES F2 UTLUTES F2 UTLUTES F1 PODER ROOM F2 UTLUTES F1 CLOSET F1 MASTER BEDROOM F1 MASTER BETHROOM F2 CLOSET F1 ELOSET F1 LANDRY F2 BATHROOM F2 CLOSET F1 NOTES. F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE BASE B1 - WOOD MALL W1 - TAPED, SPACKLED, SANDED, PRIMER (2/COATS LATEX PAINT, E CLOSET F1 LANDRY F2 PRIMER (2/COATS LATEX PAINT, E CLOSET F1 CLOSET F1 CLOSET F1		AL) OWR) NER	- <u>-</u>	
GARAGE F3 FOYER F2 FRST FLOOR F2 FRST FLOOR F1 PORCH F1 LINING ROOM F1 KITCHEN F1 POUDER ROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 CLOSET F1 CLOSET F1 BEDROOM *2 F1 CLOSET F1 BEDROOM *3 F1 CLOSET F1 BATHROOM F2 TILE (CERAMIC OR VCT) F3 F3 - TILE (CERAMIC OR VCT) F3 F3 - CONCRETE BASE BASE BI - WOOD WALL WI - TAPED, SPACKLED, SANDED PRIMER (JZOATS LATEX PAINT, F C2 CABIET, COUNTERTOP, APPLIANCE 4 F STTLES, FINISH 4 LAYOUT AS DETERMING VIETCLICAL, SUITCHER, RECEPTACLES, SANDED PROVIDE ROD, HORS 4 SHELVES WHET VIETCLICAL, SUITCHER, RECEPTACLES, SANDED SUITCH CAL, SUITCHER, RECEPTACLES, SANDED PROVIDE ROD, HORS	/ L	ROO	BASE	MALL	
GARAGE F3 FOYER F2 FRST FLOOR F2 FRST FLOOR F1 PORCH F1 LINING ROOM F1 KITCHEN F1 POUDER ROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 CLOSET F1 CLOSET F1 BEDROOM *2 F1 CLOSET F1 BEDROOM *3 F1 CLOSET F1 BATHROOM F2 TILE (CERAMIC OR VCT) F3 F3 - TILE (CERAMIC OR VCT) F3 F3 - CONCRETE BASE BASE BI - WOOD WALL WI - TAPED, SPACKLED, SANDED PRIMER (JZOATS LATEX PAINT, F C2 CABIET, COUNTERTOP, APPLIANCE 4 F STTLES, FINISH 4 LAYOUT AS DETERMING VIETCLICAL, SUITCHER, RECEPTACLES, SANDED PROVIDE ROD, HORS 4 SHELVES WHET VIETCLICAL, SUITCHER, RECEPTACLES, SANDED SUITCH CAL, SUITCHER, RECEPTACLES, SANDED PROVIDE ROD, HORS	- - -	1	۵) ۱	3	
FOYTER F2 FOYTER F2 FROT FLOOR PORCH - FAMILY ROOM F1 DINING ROOM F1 POLDER ROOM F2 UTILITIES F2 SECOND FLOOR F1 MASTER BEDROOM F2 CLOGET F1 CLOGET F1 CLOGET F1 CLOGET F1 LAUNDRY F2 BATHROOM F2 CLOGET F1 LAUNDRY F2 CLOBET F1 LAUNDRY F2 CLOBET F2 CLOBET F2		E2			
PORCH - FAMILY ROOM FI DINING ROOM FI KITCHEN FI POUDER ROOM F2 UTILITIES F2 SECOND FLOOR FASTER BEDROOM MASTER BATHROOM F2 CLOSET F1 BEDROOM *2 F1 CLOSET F1 BEDROOM *2 F1 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 LAUNDRY F2 SECOND F1 F2 CLOSET F1 CLOSET F2 CLOSET F2			- ві	 	
EAHILY ROOM FI PAHILY ROOM FI KITCHEN FI POWDER ROOM F2 UITLITIES F2 SECOND FLOOR MASTER BEDROOM MASTER BEDROOM FI MASTER BATHROOM F2 CLOSET FI CLOSET FI CLOSET FI BEDROOM *3 F1 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE BATHROOM BASE BI - WOOD WALL WI - TAPED, SPACKLED, SANDED, PRIMER (2:COATS LATEX PAINT, FC2 - PYC BADBOARD GELLING CI - TAPED, SPACKLED, SANDED, PRIMER (2:COATS LATEX PAINT, FC2 - PYC BADBOARD G. CABNET, COUNTERTOP, APPLIANCE 4 F STTLES, FINISH 4 LAYOUT AS DETERMINI OWNER (TYPICAL 0F KITCHEN, BATHRON LAUNDRY) LOLEAN SUFFACES THOROOGE CONDITION OF ALL FINISH MATERIALS LOLEAN SUFFACES THOROOGE CONDITION TO DESIGN 4 CONSTRUCTION APPLICATION OF ALL FUNCHTION OF ALL PROPOSED CONDITION OT ALL EXISTING 4 PROPOSED CONDITION TO DESIGN 4 CONSTRUCTION CALOR FALLY FUNCTION TO TO DESIGN 4 CONSTRUCTION T			<u> </u>		
DINING ROOM FI KITCHEN FI POUDER ROOM F2 UTILITIES F2 SECOND FLOOR MASTER BEDROOM MASTER BEDROOM F1 MASTER BATHROOM F2 CLOSET F1 GLOSET F1 BEDROOM *2 F1 CLOSET F1 BATHROOM F2 CLOSET F1 LAUDRY F2 CLOSET F1 LAUDRY F2 CLOSET F1 CLOSET F1 LAUDRY F2 CLOSET F1 ELECTRICAL: F1 ACCONTRECTOR DAPLIANCE A F3 MALL WILL MILL LAUNDRY		-	-	-	C
KITCHEN FI POUDER ROOM F2 UTILITIES F2 SECOND FLOOR MASTER BEDROOM MASTER BEDROOM F1 MASTER BEDROOM F2 CLOSET F1 CLOSET F1 BEDROOM *2 F1 CLOSET F1 BEDROOM *3 F1 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 MOTES F1 MOTES F1 MOTES F1 MOTES F2 CLOSET F1 BASE B1 CLOSET F2 CLOSET F2 CLOSET F2 CLOSET F2 CLOSET F2 CLOSET F2 CLOSET			BI		C
POUDER ROOM F2 UTILITIES F2 SECOND FLOOR MASTER BEDROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 MASTER BEDROOM F1 CLOSET F1 BEDROOM *2 F1 BEDROOM *3 F1 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 LAUNDRY F2 BATHROOM F2 CLOSET F1 PRIMER (2COATS LATEX PAINT, E CLOBET F2 PRIMER (2COATS LATEX PAINT, E CELING CI - TAPED, SPACKLED, SANDED PRIMER (2COATS LATEX PAINT, E CABINET, COUNTERTOP, APPLIANCE 4 STTLES, FINISH (LAYOUT AS DETERMING LAUNDRY) J. FOLLOU MANUFACTURERS INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS I. CLEAN SUFFACES THOROGED CONDITION OTHER SUFFACE DEPOSITS TO A SOUN SUFFACE, PRIOR TO APPLICATION OF F1 J. PROVIDE ROO, HOOKS 4 SHELVES WHEI ELECTRICAL SUITCH SUFFACE DEPOSIDE CONDITION TO DESIGN 4 CONSTRUCTION B. ALL ELECTRICA			BI		
ECOND FLOOR MASTER BEDROOM MASTER BEDROOM MASTER BATHROOM FI CLOSET FI CLOSET BEDROOM *2 FI CLOSET BEDROOM *2 FI CLOSET BATHROOM F2 CLOSET F1 LAUNDRY F2 SASE BI WOTES. ELOOR F1 PRIMER (2XCOATS LATEX PAINT, F C2 PRIMER (2XCOATS LATEX PAINT, F CLEAN SURFACES THOROUGHLY TO REP PRIMER (2XCOATS LATEX PAINT, F C2 PROVIDE AC DEPOSITION TO REP DIRT, CHALK, OL, GERASE, LOOSE PAIN OTHER SURFACE DEPOSITION TO REP DIRT, CALK, OL, GERASE, LOOSE PAIN OTHER SURFACE DEPOSITION CONTONICONTON ALL<			BI		6
MASTER BEDROOM FI MASTER BATHROOM F2 CLOSET FI CLOSET FI BEDROOM *2 FI CLOSET FI BEDROOM *3 FI CLOSET FI LAUNDRY F2 BATHROOM F2 CLOSET FI NOTES. F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE BASE BI - WOOD WALL WI - TAPED, SPACKLED, SANDED, PRIMER (2XOATS LATEX PAINT, F CELLING CI - TAPED, SPACKLED, SANDED, PRIMER (2XOATS LATEX PAINT, F C2 - PYC BEADBARD G. CABINET, COUNTERTOP, APPLIANCE 4 F STILES, FINISH 4 LAYOUT AS DETERMIN, OWNER (TYPICAL CF KITCHEN, BATHROV DIRT, CALL, SWITCHES, INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS ILEECTRICAL: A ELECTRICAL: A A ELECTRICAL: A LECTRICAL: A LECTRICAL: A LECTRICAL: A LE	2 E	F2	в	ωı	C
ASTER BATHROOM F2 CLOBET CLOBET F1	. 1		<u> </u>		1
CLOSET FI CLOSET FI CLOSET FI BEDROOM *2 FI CLOSET FI BEDROOM *3 FI CLOSET FI LAUNDRY F2 BATHROOM F2 CLOSET FI NOTES: FI ELOOR FI HARDWOOD F2 TLE (CERAMIC OR VCT) F3 CONCRETE BASE BI BASE BI WUI TAPED, SPACKLED, SANDED PRIMER (2)COATS LATEX PAINT, E C2 PYC BEADBOARD G. CABINET, COUNTERTOP, APPLIANCE 4 STITLES, FNIGH 4.1 AYOUT AS DETERMING OWNER (TYPICAL OF KITCHEN, BATHROCLAUNDRY) DIRT, CHALK, OL, GREASE, LOOSE PAIN OTHER SUFFACE DEPOSITS OA SOUN SUFFACE, PRIOR TO APPLICATION OF ALL DIRT, CHALK, OL, GREASE, LOOSE PAIN OTHER SUFFACE DEPOSITS OA SOUN SUFFACE, PRIOR TO APPLICATION OF ALL PROVIDE ROD, HOOKS 4 SHELVES WHEI LEECTRICAL A. ELECTRICAL SWITCHES, RECEPTACLES, E <td< td=""><th></th><th></th><td>BI</td><td></td><td></td></td<>			BI		
BEDROOM *2 FI GL06ET FI BEDROOM *3 FI CL06ET FI LAUNDRY F2 BATHROOM F2 CL06ET FI MOTES: FI FLOOR FI CL06ET FI BATHROOM F2 CL06ET FI FI CONCRETE BASE BI - WOOD WALL WI - TAPED, SPACKLED, SANDED, PRIMER (2)COATS LATEX PAINT, F C2 PYC BEADBOARD G. CABINET, COUNTERTOP, APPLIANCE 4 F STTLES, FINISH 4 LAYOUT AS DETERMINI OWNER (17PICAL 0F KITCHN, BATHROU LANDRY) H. FOLLOW MANUFACTURERS INSTRUCTION APPLICATION OF ALL FINISH MATERIALS I. CLEAN SURFACES THOROUGHLY TO REPORTICAL CONTRACTION TO A PPLICATION OF ALL FINISH MATERIALS I. CLEAN SURFACES TO APPLICATION OF ALL PINISH MATERIALS I. CLEAN SURFACE TO APPLICATION OF ALL PINISH MATERIALS I. CLEAN SURFACE TO APPLICATION OF ALL PINISH MATERIALS I. CLEAN SURFACE TO APPLICATION OF ALL PINISH MATERIALS I. CLEAN SURFACE NOROUGHLY TO REPORTION TO ALL ENDITION TO ALL ENDITION TO ALL ENDITION OF ALL PINISH MATERIALS I. CLEAN SURFACE NOROUGHLY TO REPORTION OF ALL			BI		6
CLOSET FI BEDROOM *3 FI CLOSET FI LAUNDRY F2 BATHROOM F2 CLOSET FI MOTES: FI ELOOR FI FI HARDWOOD F2 TILE (CERAMIC OR VCT) F3 CONCETE BASE BI WALL WI<-TAPED, SPACKLED, SANDED	1 E	Fl	в	ωı	C
BEDROOM *3 FI CLOSET FI LAUNDRY F2 BATHROOM F2 CLOSET F1 MOTES: F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE BASE B1 - WOOD WALL W1 - TAPED, SPACKLED, SANDED, PRIMER (2/COATS LATEX PAINT, F C2 - PVC BEADBOARD G. CABINET, CONTERTOP, APPLIANCE 4 F STYLES, FINISH 4 LAYOUT AS DETERMINI OWNER (17PICAL OF KITCHEN, BATHROOT LAUNDRY) H. FOLLOW MANUFACTURER'S INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS I. CLEAN SURFACES THOROUGHLY TO REPORT DIARFACE, PRIOR TO APPLICATION OF F J. PROVIDE ROD, HOOKS 4 SHELVES WHEN DIRT, CHALK, OIL, GREASE, LOOSE PAINDITHER SURFACE, PRIOR TO APPLICATION OF F J. PROVIDE ROD, HOOKS 4 SHELVES WHEN ELECTRICAL: A. ELECTRICAL SWITCHES, RECEPTACLES, ETC. ARE FOR DIAGRAMMATIC PURPOS OWNERS ELECTRICAL CONTRALTOR TO ALL SWIRFACE, PRIOR TO APPLICATION OF J. MALL ELECTRIC ON CHU SHALL BE RUN INTERNET/DATA/TELEPHONE (OUNER LOCATED) GUINER SUBTICH (4 48" AFF. TO TOP MUTCH (448" AFF. TO TOP SWITCH (20MMER) 9 48" AFF. TO TOP SWITCH (DIMMER) 9 48" AFF. TO TOP SWITCH (DIMMER) 9 48			В		c
CLOSET FI LAUNDRY F2 BATHROOM F2 CLOSET F1 NOTES: F1 ELOOR F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 F3 - CONCRETE BASE BASE B1 - WOOD WALL W1 - TAPED, SPACKLED, SANDED, PRIMER (2COATS LATEX PAINT, F C2 - PVC BEADBOARD SANDED, RIMER (2COATS LATEX PAINT, F C2 - PVC BEADBOARD SANDED, PRIMER (2COATS LATEX PAINT, F CLANDRY) H. H. FOLLOW MANUFACTURER'S INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS CLEAN SURFACES THOROUGHLY TO REP DIRT, CHALK, OIL, GREASE, LOOSE PAIN OTHER SURFACES THOROUGHLY TO REP DIRT, CHALK, OIL, GREASE, LOOSE PAIN OTHER SURFACES THOROUGHLY TO REP DIRT, CHALK, OIL, GREASE, LOOSE PAIN OTHER SURFACES THOROUGHLY TO REP DIRT, CHALK, OIL, GREASE, LOOSE PAIN OTHER SURFACES THOROUGHLY TO REP DIRT, CHALK, OIL, GREASE, LOONE PAIN OTHER SURFACE OR THACTOR TO ALL EXISTING 4 PROPOED CONDITION TO DESIGN 4 CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRUCTION B. ALL ELECTRICA CONSTRU			BI		
BATHROOM F2 CLOSET F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE BASE B1 - WOOD WALL W1 - TAPED, SPACKLED, SANDED, PRIMER (2/COATS LATEX PAINT, E CELLING C1 - TAPED, SPACKLED, SANDED PRIMER (2/COATS LATEX PAINT, E C2 - PVC BEADBOARD G. CABINET, COUNTERTOP, APPLIANCE 4 F STYLES, FINISH 4 LATOUT AS DETERMINI OWNER (TYPICAL OF KITCHEN, BATHROO LAUNDRY) H. FOLLOW MANUFACTURER'S INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS I. CLEAN SURFACES THOROUGHLY TO REM DIFT, CHALK, OIL, GREASE, LOOSE PAIN OTHER SURFACE DEPOSITS TO A SOUN SURFACE, PRIOR TO APPLICATION OF F J. PROVIDE ROD, HOOKS 4 SHELVES WHEN ELECTRICAL: A. ELECTRICAL SWITCHES, RECEPTACLES, ETC, ARE FOR DIAGRAMMATIC PURPOSE OUNERS ELECTRICAL CONTRACTOR TO ALL EXISTING 4 PROPOSED CONDITION TO DESIGN 4 CONSTRUCTION B. ALL ELECTRICA ON CMU SHALL BE RUN INTERNET/DATA/TELEPHONE (OUNER L CABLE TV (OWNER LOCATED) SWITCH 448" AFF, TO TOP • PROVIDE (I) (MIN) WALL SWITCH CON LIGHT OR LIGHTING OUTLET IN EAC • PROVIDE (I) (MIN) WALL SWITCH CON LIGHT OR LIGHTING OUTLET IN EAC • PROVIDE (I) (MIN) WALL SWITCH CON B. ALL ELECTRICA DOORS SWITCH (1-WAT) • 48" AFF, TO TOP • PROVIDE (I) (MIN) WALL SWITCH CON			BI		-
CLOSET FI FI HARDWOOD F2 TILE (CERAMIC OR VCT) F3 - CONCRETE BASE BI WOOD WALL WI - TAPED, SPACKLED, SANDED, PRIMER (2COATS LATEX PAINT, F C2 - PVC BEADBOARD G. CABINET, COUNTERTOP, APPLIANCE 4 F STTLES, FINISH L LAYOUT AS DETERMINI OWNER (TYPICAL OF KITCHEN, BATHROX LAUNDRY) H. FOLLOW MANUFACTURER'S INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS (CLEAN SURFACES THOROUGHLY TO REP DIRT, CHALK, OIL, GREASE, LOOSE PAIN OTHER SURFACE DEPOSITS TO A SOUN OTHER SURFACE DEPOSITS TO A SOUN OTHER SURFACE DEPOSITS TO A SOUN OTHER SURFACE DEPOSITS TO A SOUN OWNERACE, PRIOR TO APPLICATION OF F J. PROVIDE ROD, HOOKS 4 SHELVES WHEN OWNERS ELECTRICAL CONTRACTOR TO ALL EXISTING 4 PROPOSED CONDITION TO DESIGN 4 CONSTRUCTION B. ALL ELECTRIC ON CMU SHALL BE RUN INTERNET/DATA/TELEPHONE (OUNER L CABLE TV (OWNER LOCATED) G. SWITCH (3-WAY) @ 48" AFF, TO TOP INTERNOT DOORS SWITCH (2000) G. PROVIDE (1) (MINJ) WALL SWITCH COLL CONTROLLE EXTERIOR LIGHT # CONTROLLE EXTERIOR LIGHT # CONTROLLE EXTERIOR LIGHT # CONTROLLE EXTERIOR LIGHT # CONTROL EXTERIOR LIGHT # CONTROL CONS G. SWITCH (1-WAY) @ 48" AFF, TO TOP G. SWITCH (1-WAY) @ 48" AFF, TO TOP G. SWITCH (101MMER) @ 48" AFF, T				-	-
ELECTRICAL: Intervention ELECTRICAL: ELECTRICAL: CABINET: ELECTRICAL: ELECTRICAL: ELECTRICAL: A: ELECTRICAL: C: CABURTON OF ALL PINON MATERIAL: DIRT: CHALK, OLL, GREASE, LOOSE PAIN: OTHER: SUBREACE, PRIOR TO APPLICATION OF PINON DIRCH: A: ELECTRICAL: Construction of PINON A: ELECTRICAL: A: ELECTRICAL:	2 E	F2	в	ωı	6
FLOOR FI - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE BASE BI - WOOD WALL WI - TAPED, SPACKLED, SANDED, PRIMER (2)COATS LATEX PAINT, E CEILING CI - TAPED, SPACKLED, SANDED, PRIMER (2)COATS LATEX PAINT, E C2 - PVC BEADBOARD CABINET, COUNTERTOP, APPLIANCE 4 F STYLES, FINISH 4 LAYOUT AS DETERMINI OWNER (TYPICAL OF KITCHEN, BATHROU LAUNDRY) FOLLOW MANUFACTURER'S INSTRUCTIONS APPLICATION OF ALL FINISH MATERIALS I. CLEAN SURFACE DEPOSITS TO A SOUN SURFACE, PRIOR TO APPLICATION OF F J. PROVIDE ROD, HOOKS 4 SHELVES WHEI ELECTRICAL: A. ELECTRICAL SWITCHES, RECEPTACLES, ETC. ARE FOR DIAGRAMMATIC PURPOS OUNERS ELECTRICAL CONTRACTOR TO ALL EXISTING 4 PROPOSED CONDITION TO DESIGN 4 CONSTRUCTION B. ALL ELECTRIC ON CMU SHALL BE RUN INTERNET/DATA/TELEPHONE (OUNER L CABLE TV (OWNER LOCATED) INTERNET/DATA/TELEPHONE (OUNER L LONTROLLED EXTERIOR LIGHT *, EXTERIOR DOORS SWITCH (3-WAY) = 48" AFF. TO TOP • DROVIDE (I) (MIN) WALL SWITCH CO LIGHT OR LIGHTING OUTLET IN EACO OUNERS RECEPTACLE (SPT) APPLIAN DUPLEX RECEPTACLE (STT) = 48" AFF. TO TOP © SWITCH (DIMMER) = 48" AFF. TO TOP © SWITCH (2-WAY) = 48" AFF. TO TOP © DUPLEX RECEPTACLE (CATE) APPLIAN DUPLEX RECEPTACLE (CATE) APPLIAN DUPLEX RECEPTACLE (CATE) APPLIAN DUPLEX RECEPTACLE (CATE) APPLIAN DUPLEX RECEPTACLE (CATE) APPLIAN DUPLEX RECEPTACLE (CATE) APPLIAN D	1 E	Fl	В	ωI	0
(MAX.) MEASURED HORIZONTALLY FLOOR LINE ALONG ALL WALLS WALL MOUNTED LIGHT (OWNER SELECT CEILING MOUNTED LIGHT SURFACE OR RECESSED (OWNER SELECTED) PENDANT (OWNER SELECTED) CHANDALIER (OWNER SELECTED) CHANDALIER (OWNER SELECTED) BATHROOM MECHANICAL EXHAUST W/L (50 CFM INTERMITTENT OR 20 CFM CO COMBINATION CARBON MONOXIDE / S DETECTOR (WIRELESS OR HARD-WIRE INTERCONNECTED, BATTERY BACK-UP		IT, 4 YR OARADEH EOTO UR LALA OUSSY		T FIND THORR THOUSE THORY THU	
SD SMOKE DETECTOR (WIRELESS OR HAR INTERCONNECTED, BATTERY BACK-UP CEILING FAN W/LIGHTS, MAINTAIN 54" (1 ALL CO/SD DETECTORS (OWNER SELECTED)	R /LICI SED ED (RP)		LIGH NATIN D, D, N D	HT NUO KE WIRE	Ð



2 <u>ROOF PLAN</u> SCALE: <u>4</u>" = 1'-0"



10.28.19 19-72



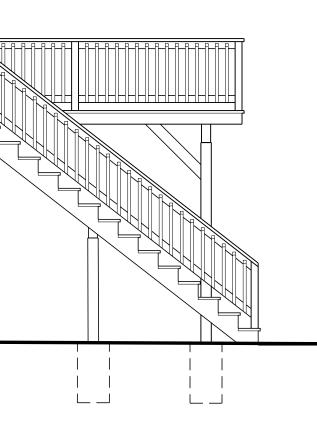
 CONTINUOUS RIDGE VENT (IYP.)
LOUVERED ATTIC VENT (TYP.)
RAKE TRIM BOARD
FASCIA TRIM BOARD
GUTTERS & LEADERS TO DOWNSPOUTS @ GRADE (TYP.)
HORIZONTAL SIDING (TYP.)
4'X8'X5'' EXTERIOR GRADE PLYWODD SHEATHING INSTALL HORIZONTALLY, CENTERED 00 2ND FLOOR FRAMING @ FASTENED W/8D @ 6'' O.C. PERIMETER & 12'' C. FIELD, PROVIDE 2X4 BLOCKING @ PANEL EDGES (TYP WFCM PRESCRIPTIVE METHOD, DASHED LINE) PORCH ROOF EXTERIOR OPENINGS GREATER THAN 3'-0'' SHALL BE FASTENED W/SIMPSON CSI6 STRAPS TO THE JACK STUD, 12'' (MIN.), LAP OVER & CONNECT TO THE HEADER & DOUBLE TOP PLATE EACH SIDE OF OPENING PORCH ROOF TO ENTRY DOOR W/SIDELIGHTS BE COMPLETED @ A LATER DATE FRONT PORCH & STAIR FRONT PORCH & STAIR FRONT PORCH & STAIR ENTRY DOOR SECTIONAL OVERFIELD DOOR
SONOTUBE BELOW GRADE (TYP.)

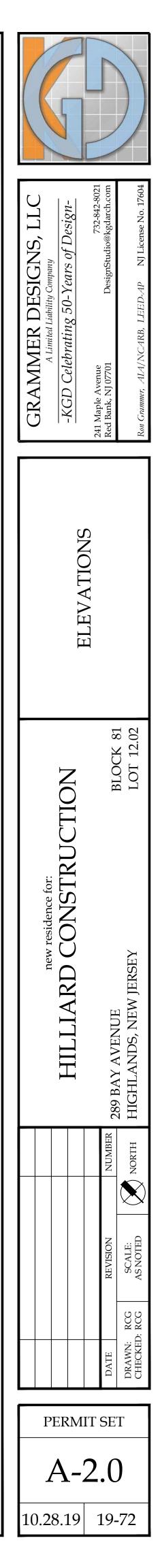
ERONT ELEVATION SCALE: 1/4" = 1'-0"

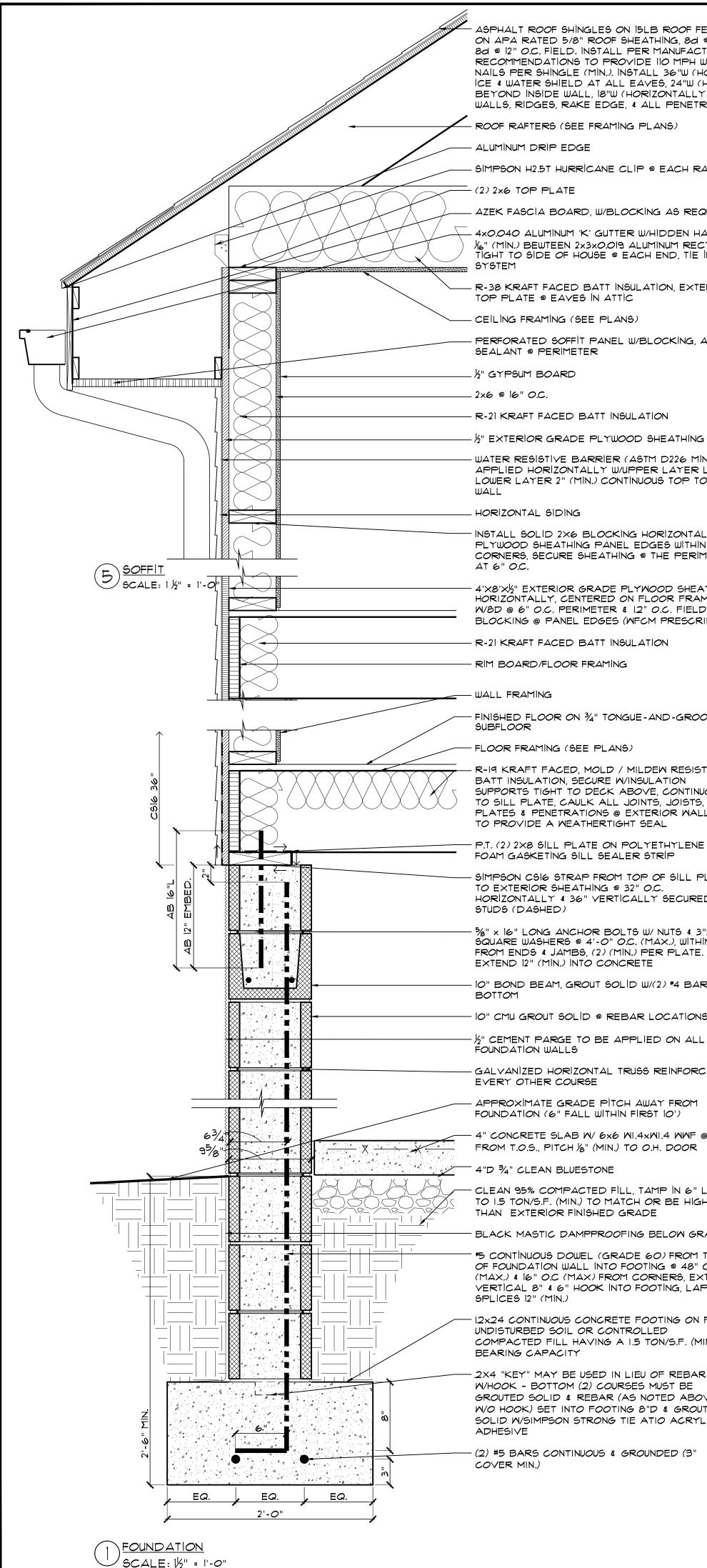
	"SMART" VENT (TYP)	
 	 רע	

3 RIGHT SIDE ELEVATION SCALE: 1/4" = 1'-0"









ASPHALT ROOF SHINGLES ON I5LB ROOF FELT (LAP 4" MIN.) ON APA RATED 5/8" ROOF SHEATHING, 8d @ 6" O.C. EDGE, 80 @ 12" O.C. FIELD. INSTALL PER MANUFACTURER'S RECOMMENDATIONS TO PROVIDE 110 MPH WARRANTY W/6 NAILS PER SHINGLE (MIN.), INSTALL 36 W (HORIZONTALLY) ICE & WATER SHIELD AT ALL EAVES, 24"W (HORIZONTALLY) BEYOND INSIDE WALL, 18"W (HORIZONTALLY) FOR END WALLS, RIDGES, RAKE EDGE, & ALL PENETRATIONS

ROOF RAFTERS (SEE FRAMING PLANS)

- ALUMÍNUM DRIP EDGE

SIMPSON H2.5T HURRICANE CLIP @ EACH RAFTER

- (2) 2×6 TOP PLATE

AZEK FASCIA BOARD, W/BLOCKING AS REQUIRED

4x0.040 ALUMINUM 'K' GUTTER W/HIDDEN HANGERS PITCHED k_{e} " (MİN.) BEWTEEN 2x3x0.019 ALUMINUM RECT. LEADERS TIGHT TO SIDE OF HOUSE @ EACH END, TIE INTO DRAINAGE

R-38 KRAFT FACED BATT INSULATION, EXTEND OVER WALL TOP PLATE @ EAVES IN ATTIC

CEILING FRAMING (SEE PLANS)

PERFORATED SOFFIT PANEL W/BLOCKING, AS REQUIRED, 4 SEALANT @ PERIMETER

为" GYPSUM BOARD

. 2x6 @ 16" O.C.

R-21 KRAFT FACED BATT INSULATION

WATER RESISTIVE BARRIER (ASTM D226 MIN. COMPLIANCE), APPLIED HORIZONTALLY WUPPER LAYER LAPPED OVER LOWER LAYER 2" (MIN.) CONTINUOUS TOP TO BOTTOM OF WALL

HORIZONTAL SIDING

INSTALL SOLID 2×6 BLOCKING HORIZONTALLY AT ALL PLYWOOD SHEATHING PANEL EDGES WITHIN 48" OF CORNERS, SECURE SHEATHING @ THE PERIMETER W/80 NAILS AT 6" O.C.

4'X8'X/2" EXTERIOR GRADE PLYWOOD SHEATHING INSTALL HORIZONTALLY, CENTERED ON FLOOR FRAMING @ FASTENED W/8D @ 6" O.C. PERIMETER & 12" O.C. FIELD, PROVIDE 2X6 BLOCKING @ PANEL EDGES (WFCM PRESCRIPTIVE METHOD)

R-21 KRAFT FACED BATT INSULATION

RIM BOARD/FLOOR FRAMING

WALL FRAMING

- FINISHED FLOOR ON 3/4" TONGUE-AND-GROOVE

FLOOR FRAMING (SEE PLANS)

R-19 KRAFT FACED, MOLD / MILDEW RESISTANT BATT INSULATION, SECURE W/INSULATION SUPPORTS TIGHT TO DECK ABOVE, CONTINUOUS TO SILL PLATE, CAULK ALL JOINTS, JOISTS, SILL PLATES & PENETRATIONS @ EXTERIOR WALLS, TO PROVIDE A WEATHERTIGHT SEAL

- P.T. (2) 2×8 SILL PLATE ON POLYETHYLENE FOAM GASKETING SILL SEALER STRIP

SIMPSON CSIG STRAP FROM TOP OF SILL PLATE TO EXTERIOR SHEATHING @ 32" O.C. HORIZONTALLY & 36" VERTICALLY SECURED TO STUDS (DASHED)

5/2" x 16" LONG ANCHOR BOLTS W/ NUTS & 3"x3" SQUARE WASHERS @ 4'-O" O.C. (MAX.), WITHIN 12" FROM ENDS & JAMBS, (2) (MIN.) PER PLATE. EXTEND 12" (MIN.) INTO CONCRETE

10" BOND BEAM, GROUT SOLID W/(2) #4 BARS @

- 10" CMU GROUT SOLID @ REBAR LOCATIONS

 $\frac{1}{2}$ " CEMENT PARGE TO BE APPLIED ON ALL

FOUNDATION WALLS

GALVANİZED HORIZONTAL TRUSS REINFORCİNG, EVERY OTHER COURSE

APPROXIMATE GRADE PITCH AWAY FROM FOUNDATION (6" FALL WITHIN FIRST 10')

- 4" CONCRETE SLAB W/ 6x6 WI.4xWI.4 WWF @ -I" - X - K MIN.) TO O.H. DOOR

 $^{-}$ 4"D $\frac{3}{4}$ " CLEAN BLUESTONE

CLEAN 95% COMPACTED FILL, TAMP IN 6" LIFTS TO 1.5 TON/S.F. (MIN.) TO MATCH OR BE HIGHER THAN EXTERIOR FINISHED GRADE

BLACK MASTIC DAMPPROOFING BELOW GRADE *5 CONTINUOUS DOWEL (GRADE 60) FROM TOP OF FOUNDATION WALL INTO FOOTING @ 48" O.C. (MAX.) & 16" O.C (MAX) FROM CORNERS, EXTEND VERTICAL 8" \$ 6" HOOK INTO FOOTING, LAP

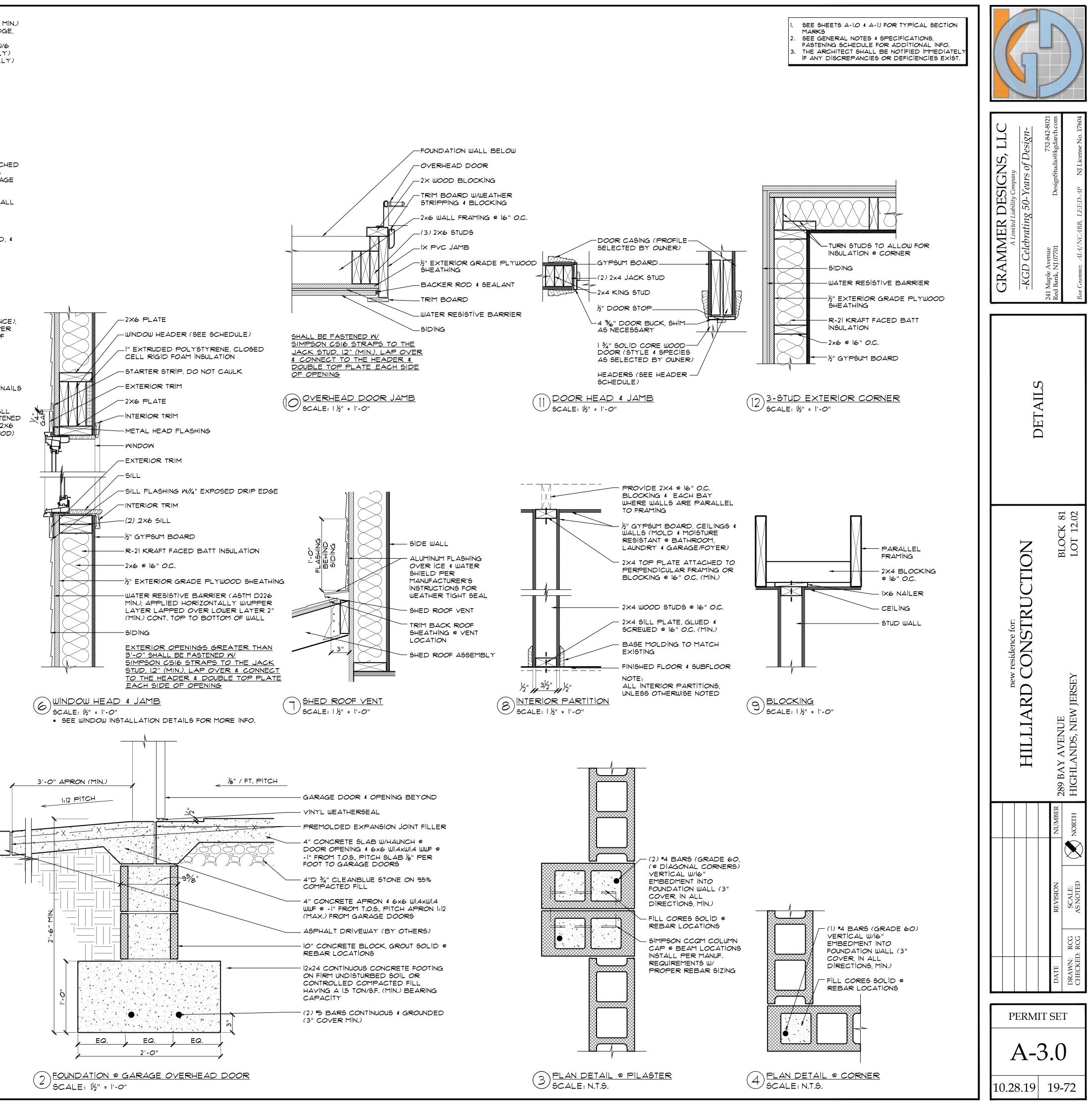
12x24 CONTINUOUS CONCRETE FOOTING ON FIRM UNDISTURBED SOIL OR CONTROLLED COMPACTED FILL HAVING A 1.5 TON/S.F. (MIN.) BEARING CAPACITY

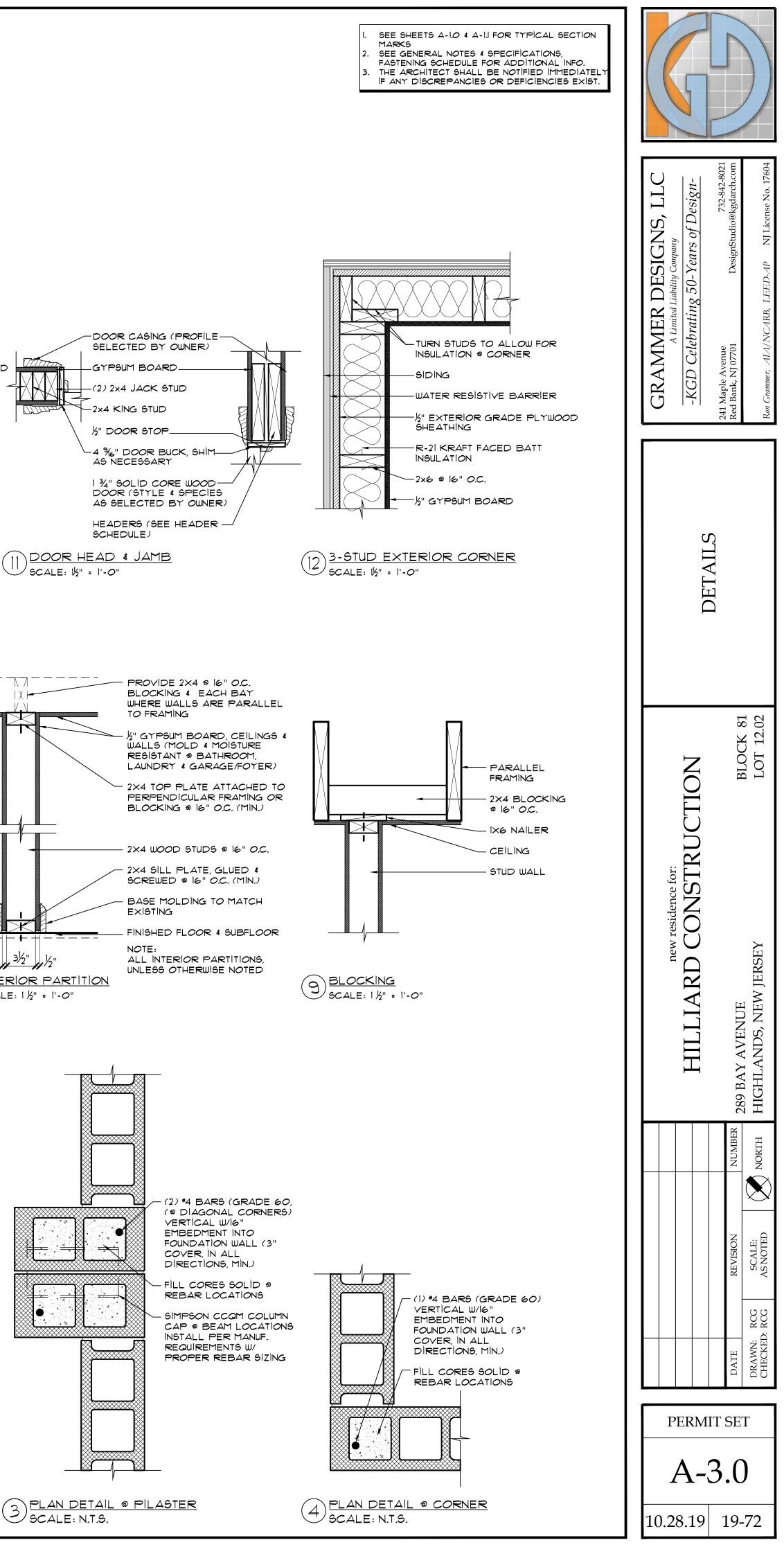
2X4 "KEY" MAY BE USED IN LIEU OF REBAR W/HOOK - BOTTOM (2) COURSES MUST BE GROUTED SOLID & REBAR (AS NOTED ABOVE W/O HOOK) SET INTO FOOTING 8"D & GROUTED SOLID W/SIMPSON STRONG TIE ATIO ACRYLIC ADHESI∨E

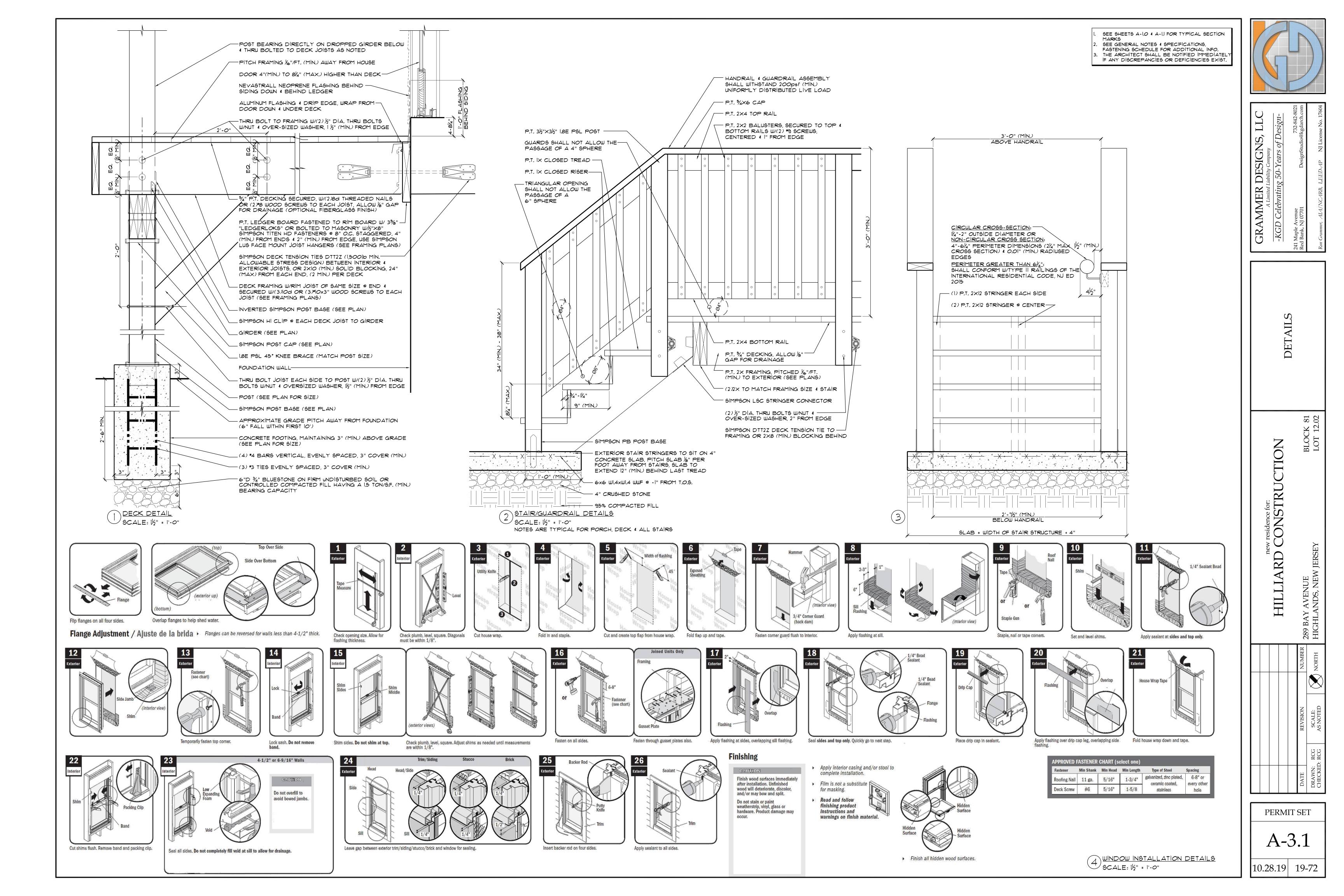
(2) #5 BARS CONTINUOUS & GROUNDED (3" COVER MIN.)











ITEM	F DESCRIPTION OF BUILDLING ELEMENTS	ASTENING SCHEDULE NUMBER AND TYPE OF FASTENERS
	DESCRIPTION OF BUILDLING ELEIVIENTS	ROOF
		4-8d BOX (2 1/2" X 0.113")OR
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	3-8d COMMON (2 1/2" X 0.131"); OR
		3-10d BOX (3" X 0.128"); OR
		3-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.113")OR
		3-8d COMMON (2 1/2" X 0.131"); OR
2	CEILNG JOISTS TO TOP PLATE	3-10d BOX (3" X 0.128"); OR
		3-3" X 0.131" NAILS
	CEILNG JOINST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER	4-10d BOX (3" X 0.128"); OR
3	PARTITION [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE	3-16d COMMON (3 1/2" X 0.162"); OR
	R802.5.1(9)] CEILNG JOINST ATTACHED TO PARALLEL RAFTER (HEEL JOINT)	4-3" X 0.131" NAILS
4	[SEE SECTIONS R802.3.1, R802.3.2 AND TABLE	TABLE R802.5.1(9)
	R802.5.1(9)]	
	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4" X 20 GA. RIDGE STRAP	4-10d BOX (3" X 0.128"); OR
5	TO RAFTER	3-10d COMMON (3" X 0.148"); OR
		4-3" X 0.131" NAILS 3-16d BOX NAILS (3 1/2" X 0.135"); OR
		3-10d COMMON NAILS (3" X 0.148"); OR
6	RAFTER OR ROOF TRUSS TO PLATE	4-10d BOX (3" X 0.125"); OR
		4-3" X 0.131" NAILS
		4-16d (3 1/2" X 0.135"); OR
		3-10d COMMON NAILS (3 1/2" X 0.148"); OR
	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER	4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS
7	TO MINIMUM 2" RIDGE BEAM	3-16d BOX NAILS (3 1/2" X 0.135"); OR
		2-16d COMMON (3 1/2" x 0.162"); OR
		3-10d BOX (3" X 0.128"); OR
		3-3" X 0.131" NAILS
		WALL 16d COMMON (3 1/2" X 0.162")
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	10d BOX (3" X 0.128"); OR
		3" X 0.131" NAILS
	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL	16d BOX (3 1/2" X 0.135"); OR
9	CORNERS (AT BRACED WALL PANELS)	3" X 0.131" NAILS
		16d COMMON (3 1/2" X 0.162")
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135")
		5-8d BOX (2 1/2" X 0.113"); OR
11	CONTINUOUS HEADER TO STUD	5-8d BOX (2 1/2" X 0.113"); OR 4-8d BOX (2 1/2" X 0.131")OR
11	CONTINUOUS HEADER TO STUD	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128")
		4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162")
11	CONTINUOUS HEADER TO STUD	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR
		4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162")
		4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS
	TOP PLATE TO TOP PLATE	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D0, D1, OR D2; AND BRACED	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D0, D1, OR D2; AND BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS
12	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D0, D1, OR D2; AND BRACED	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135")
12 13	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR
12 13	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 2-16d COMMON (3 1/2" x 0.162"); OR
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR
12 13 14	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₀ , D ₁ , OR D ₂ ; AND BRACED WALL LINE SPACING \leq 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 " X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-3d COMMON (2 1/2" X 0.135"); OR 4-3d COMMON (3 1/2" X 0.1
12 13 14 15 16	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-Da WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d COMMON (2 1/2" X 0.131"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR
12 13 14 15	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D₀, D₂, OR D₂; AND BRACED WALL LINE SPACING ≤ 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR
12 13 14 15 16	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-Da WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d COMMON (2 1/2" X 0.131"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-30 BOX (2 1/2" X 0.135"); OR 4-30 BOX (3 1/2" X 0.135"); OR 4-10d BOX (3" X 0.128"); OR 4-30 BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS
12 13 14 15 16	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-Da WITH SEISMIC BRACED WALL LINE SPACING < 25'	 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.128"); OR 3-10d BOX (3 1/2" X 0.128"); OR 3-10d BOX (3 X 0.128"); OR 3-10d BOX (3 1/2" X 0.162"); OR 3-10d BOX (3 1/2" X 0.162"); OR 3-10d BOX (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS 3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-210d BOX (2 1/2" X 0.113"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (2 1/2" X 0.131"); OR 2-10d BOX (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-3d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (2 1/2" X 0.113"); OR 2-10d BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25' DOUBLE TOP PLATE SPLICE FOR SDCs D ₉ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING <u><</u> 25' BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS) BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL) TOP OR BOTTOM PLATE TO STUD TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.155"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-200 BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-164 COMMON (3 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR 2-104 BOX (3" X 0.128"); OR 2-104 BOX (2 1/2" X 0.113"); OR 2-
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3d COMMON (2 1/2" X 0.131"); OR 4-3d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (2 1/2" X 0.113"); OR 2-10d BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 3-16d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-104 BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-104 BOX (3" X 0.128"); OR 2-164 COMMON (3 1/2" X 0.113"); OR 2-164 COMMON (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR 3-38 BOX (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR 3-84 BOX (2 1/2" X 0.113"); OR 2-104 BOX (3" X 0.128"); OR
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3" X 0.128"); OR 3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-20d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.113"); OR 2-16d COMMON (2 1/2" X 0.113"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.135"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18 19	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D2 WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.152"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 12-16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3 1/2" X 0.131"); OR 2-16d BOX (3 1/2" X 0.131"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 2-16d BOX (3 X 0.128"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2
12 13 14 15 16 17 18 19	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.135") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (3" X 0.128"); OR 2-16d COMMON (2 1/2" X 0.131"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-16d BOX (2 1/2" X 0.113"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 2-10d BOX (3" X 0.128"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR 3-84 BOX (2 1/2" X 0.113"); OR
12 13 14 15 16 17 18 19	TOP PLATE TO TOP PLATE DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₂ WITH SEISMIC BRACED WALL LINE SPACING < 25'	4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128") 16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS 8-16d COMMON (3 1/2" X 0.152"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-16d BOX (3 1/2" X 0.135") 16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 4-8d BOX (2 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 4-3" X 0.131" NAILS 3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.135"); OR 3-16d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.152"); OR 3-3" X 0.131" NAILS 3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" X 0.131"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (3" X 0.128"); OR 3-10d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-8d BOX (2 1/2" X 0.113"); OR 3-10d BOX (3" X 0.128"); OR 3-10d

113")OR " X 0.131"); OR TOE NAIL "); OR 0.113")OR " X 0.131"); OR PER JOIST, TOE NAIL "); OR "); OR 2" X 0.162"); OR FACE NAIL FACE NAIL "); OR 0.148"); OR FACE NAIL EACH RAFTER '2" X 0.135"); OR S (3" X 0.148"); OR 2 TOE NAILS ON ONE SIDE AND ONE TOE ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS "); OR '); OR LS (3 1/2" X 0.148"); OR TOE NAIL "); OR /2" X 0.135"); OR 2" x 0.162"); OR END NAIL "); OR ' X 0.162") 24" O.C. FACE NAIL ; OR 16" O.C. FACE NAIL .35"); OR 12" O.C. FACE NAIL ' X 0.162") 16" O.C. FACE NAIL " X 0.162") 16" O.C. EACH EDGE FACE NAIL 12" O.C. EACH EDGE FACE NAIL 35") 113"); OR .31")OR TOE NAIL X 0.162") 16" O.C. FACE NAIL ; OR 12" O.C. FACE NAIL 2"X 0.162"); OR 0.135"); OR 8"); OR FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT) 0.135") X 0.162") 16" O.C. FACE NAIL 35"); OR 12" O.C. FACE NAIL).135"); OR 3 EACH 16" O.C. FACE NAIL 2" x 0.162"); OR 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL .13")OR .135"); OR TOE NAIL " X 0.131"); OR "); OR /2" X 0.135"); OR 2" x 0.162"); OR END NAIL "); OR "); OR 2" x 0.162"); OR FACE NAIL .13"); OR " X 0.131 "); OR

SPACING AND LOCATION

.113"); OR				
2" X 0.131"); OR	FACE NAIL			
8"); OR				
.113"); OR				
2" X 0.131"); OR	FACE NAIL			
8"); OR	FACE NAIL			
N, 16GA., 1 3/4" LONG				
.113"); OR				
2" X 0.131"); OR				
8"); OR				
N,16GA., 1 3/4" LONG				
	FACE NAIL			
.113")OR				
2" X 0.131"); OR				
8"); OR				

TEM	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING A	ND LOCATION	
		FLOOR	_		
		4-8d BOX (2 1/2" X 0.113")OR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	3-8d BOX (2 1/2" X 0.131"); OR	то	ENAIL	
		3-10d BOX (3" X 0.128"); OR			
		3-3" X 0.131" NAILS	à 11 éb. 20		
		8d BOX (2 1/2" X 0.113")	4" 0.0	. TOE NAIL	
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR	6" O.C. TOE NAIL		
		3" X 0.131" NAILS	o old for the		
		3-8d BOX (2 1/2" X 0.113"); OR			
22	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	2-8d COMMON (2 1/2" X 0.131"); OR		*** A I X II	
23		3-10d BOX (3" X 0.128"); OR	FAG	CE NAIL	
		2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG			
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16d BOX NAILS (3 1/2" X 0.135"); OR	BUND AN	ID FACE NAIL	
		2-15d COMMON (3 1/2" x 0.162")			
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	3-16d BOX NAILS (3 1/2" X 0.135"); OR	AT EACH BEA	RING, FACE NAIL	
		2-16d COMMON (3 1/2" X 0.162")			
		3-16d BOX NAILS (3 1/2" X 0.162"); OR			
26	BAND OR RIM JOIST TO JOIST	4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAIL\$; OR	EN	D NAIL	
		4-3" X 14 GA., STAPLES, 7/16" CROWN			
	T			32" O.C. AT TOP AND BOTTOM AND	
		20d COMMON (4" X 0.192"); OR		GERED.	
	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPO SIDES		
27		AND:			
		2-20d COMMON (4" X 0.192"); OR	FACE NAIL AT ENDS AND AT EACH SPLICE		
		3-10d BOX (3" X 0.128"); OR			
		3-3" X 0.131" NAILS			
		4-16d BOX (3 1/2" X 0.135"); OR			
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3 1/2" X 0.162"); OR	AT EACH JOIST OR RAFTER, FACE NAIL		
		4-10d BOX (3" X 0.128"); OR			
29	BRIDGING TO JOIST	4-3" X 0.131" NAILS 2-10d (3" X 0.128")		ID, TOE NAIL	
29		2-100 (5 × 0.126)		F FASTENERS	
ITEM	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS a,b,c	EDGES (INCHES) ^H	INTERMEDIATE SUPPORTS C./ (INCHES)	
WOOD S	STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR	AMING AND PARTICLE BOARD WALL SHEATHING TO FRAMII R WALL SHEATHING TO WALL FRAMING	NG. [SEE TABLE R602.3(3) FOR		
	EXTERIO	-	 	-	
		64 COMMON (2" X 0 113") NALL (SUBELOOR, WALL)			
30	3/8" - 1/2"	6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL)	6	12 ^F	
		8d COMMON (2 1/2" X 0.131") NAIL (ROOF)	_		
30 31	19/32" - 1"	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131")	6 6	12 ^r	
		8d COMMON (2 1/2" X 0.131") NAIL (ROOF)	_		
31	19/32" - 1"	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR	5	12 ^F	
31	19/32" - 1"	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL	5	12 ^F	
31 32	19/32" - 1" 1 1/8" - 1 1/4"	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ⁶ 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1"	6	12 ^F 12	
31 32 33	19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1"	6 3	12 ^F 12 6	
31 32 33 34	19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1	6 6 3 3	12 ^F 12 6 5	
31 32 33 34 35	19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^O	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING [®] 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1	6 6 3 3 7	12 ^F 12 6 5 7	
31 32 33 34 35	19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^O	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ^G 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S 5/000000000000000000000000000000000000	6 6 3 3 7	12 ^F 12 6 5 7	
31 32 33 34 35 36	19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D WOOD STRUCTURAL PANELS	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING ⁶ 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S 5/8" LONG SCREWS TYPE W OR S 5/8" LONG SCREWS TYPE W OR S 5/8" LONG SCREWS TYPE W OR S 6d DEFORMED (2" X 0.120") NAIL; OR 8d COMMON (2 1/2" X 0.131") NAIL 8d COMMON (2 1/2" X 0.131") NAIL; OR	6 6 3 7 7 7	12 ⁶ 12 6 5 7 7 7	
31 32 33 34 35 36 37	19/32" - 1" 1 1/8" - 1 1/4" 1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D WOOD STRUCTURAL PANELS 3/4" AND LESS	8d COMMON (2 1/2" X 0.131") NAIL (ROOF) 8d COMMON (2 1/2" X 0.131") 10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL OTHER WALL SHEATHING [®] 1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S 5/6 COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING 6d DEFORMED (2" X 0.120") NAIL; OR 8d COMMON (2 1/2" X 0.131") NAIL	6 6 3 3 7 7 7 7	12 ^F 12 6 5 7 7 7 7	

ITEM	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING AI	ND LOCATION	
		FLOOR			
		4-8d BOX (2 1/2" X 0.113")OR			
21	JOIST TO SILL, TOP PLATE OR GIRDER	3-8d BOX (2 1/2" X 0.131"); OR	то	ENAIL	
		3-10d BOX (3" X 0.128"); OR			
		3-3" X 0.131" NAILS			
		8d BOX (2 1/2" X 0.113")	4" O.C	. TOE NAIL	
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	3-8d COMMON (2 1/2" X 0.131"); OR	e"	. TOE NAIL	
		3-10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS			
		3-8d BOX (2 1/2" X 0.113"); OR			
		2-8d COMMON (2 1/2" X 0.131"); OR			
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-10d BOX (3" X 0.128"); OR	FAC	CE NAIL	
		2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG			
		3-16d BOX NAILS (3 1/2" X 0.135"); OR			
24	2" SUBFLOOR TO JOIST OR GIRDER	2-16d COMMON (3 1/2" × 0.162")	BLIND AN	ID FACE NAIL	
		3-16d BOX NAILS (3 1/2" X 0.135"); OR			
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	2-15d COMMON (3 1/2" X 0.162")	AT EACH BEA	RING, FACE NAIL	
		3-16d BOX NAILS (3 1/2" X 0.162"); OR	1		
26	BAND OR RIM JOIST TO JOIST	4-10d BOX (3" X 0.128"); OR		D NAIL	
26	BAND OK KIM JOIST TO JOIST	4-3" X 0.131" NAIL5; OR	EN	DINAIL	
		4-3" X 14 GA., STAPLES, 7/16" CROWN			
		20d COMMON (4" X 0.192"); OR		32" O.C. AT TOP AND BOTTOM AND GGERED.	
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS		BOTTOM STAGGERED ON OPPOSITI	
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	AND:	FACE NAIL AT ENDS AND AT EACH SPLICE		
		2-20d COMMON (4" X 0.192"); OR			
		3-10d BOX (3" X 0.128"); OR			
		3-3" X 0.131" NAIL5			
		4-16d BOX (3 1/2" X 0.135"); OR			
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	3-16d COMMON (3 1/2" X 0.162"); OR	AT EACH JOIST OR RAFTER, FACE NAIL		
20		4-10d BOX (3" X 0.128"); OR			
		4-3" X 0.131" NAILS			
29	BRIDGING TO JOIST	2-10d (3" X 0.128")		ID, TOE NAIL	
			SPACING O	F FASTENERS	
ITEM	DESCRIPTION OF BUILDLING ELEMENTS	NUMBER AND TYPE OF FASTENERS a,b,c	EDGES (INCHES) ^H	INTERMEDIATE SUPPORTS ^C (INCHES)	
WOOD S	TRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FR EXTERIO	AMING AND PARTICLE BOARD WALL SHEATHING TO FRAMII R WALL SHEATHING TO WALL FRAMING	NG. [SEE TABLE R602.3(3) FOR	WOOD STRUCTURAL PANEL	
30	3/8" - 1/2"	6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL)	6	12 ^F	
30	and the - when	8d COMMON (2 1/2" X 0.131") NAIL (ROOF)	·	12	
31	19/32" - 1"	8d COMMON (2 1/2" X 0.131")	6	12 ^F	
32	1 1/8" - 1 1/4"	10d COMMON (3" X 0.148") NAIL; OR	6	12	
		8d (2 1/2" X 0.131") DEFORMED NAIL	_		
	• · · · · · · · · · · · · · · · · · · ·	OTHER WALL SHEATHING ⁶	•		
		1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1"	-		
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	CROWN STAPLE 16 GA., 1 1/4" LONG	3	6	
33 34	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING		3	6	
		CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1"			
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1	3	б	
34 35	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D	CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1	3	5	
34 35	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D	CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S	3	5	
34 35 36	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D WOOD STRUCTURAL PANELS	CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S 5, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING 6d DEFORMED (2" X 0.120") NAIL; OR	3 7 7 7	5 7 7	
34 35 36 37	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING 1/2" GYPSUM SHEATHING ^D 5/8" GYPSUM SHEATHING ^D WOOD STRUCTURAL PANELS 3/4" AND LESS	 CROWN STAPLE 16 GA., 1 1/4" LONG 1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG 1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S 1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S 5,8" LONG SCREWS TYPE W OR S 5,8" LONG SCREWS TYPE W OR S 6d DEFORMED (2" X 0.120") NAIL; OR 8d COMMON (2 1/2" X 0.131") NAIL; OR 	3 7 7 7 6	5 7 7 7 12	

FOR SI: 1 INCH = 25.4MM, 1 FT = 304.8MM, 1 MILE PER HOUR = 0.447 M/S; KSI = 5.897MPa

a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shan diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 or less

b. Staples are 16gage wire and have a minimum 7/16 inch on diameter crown width

c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.

d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.

e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).

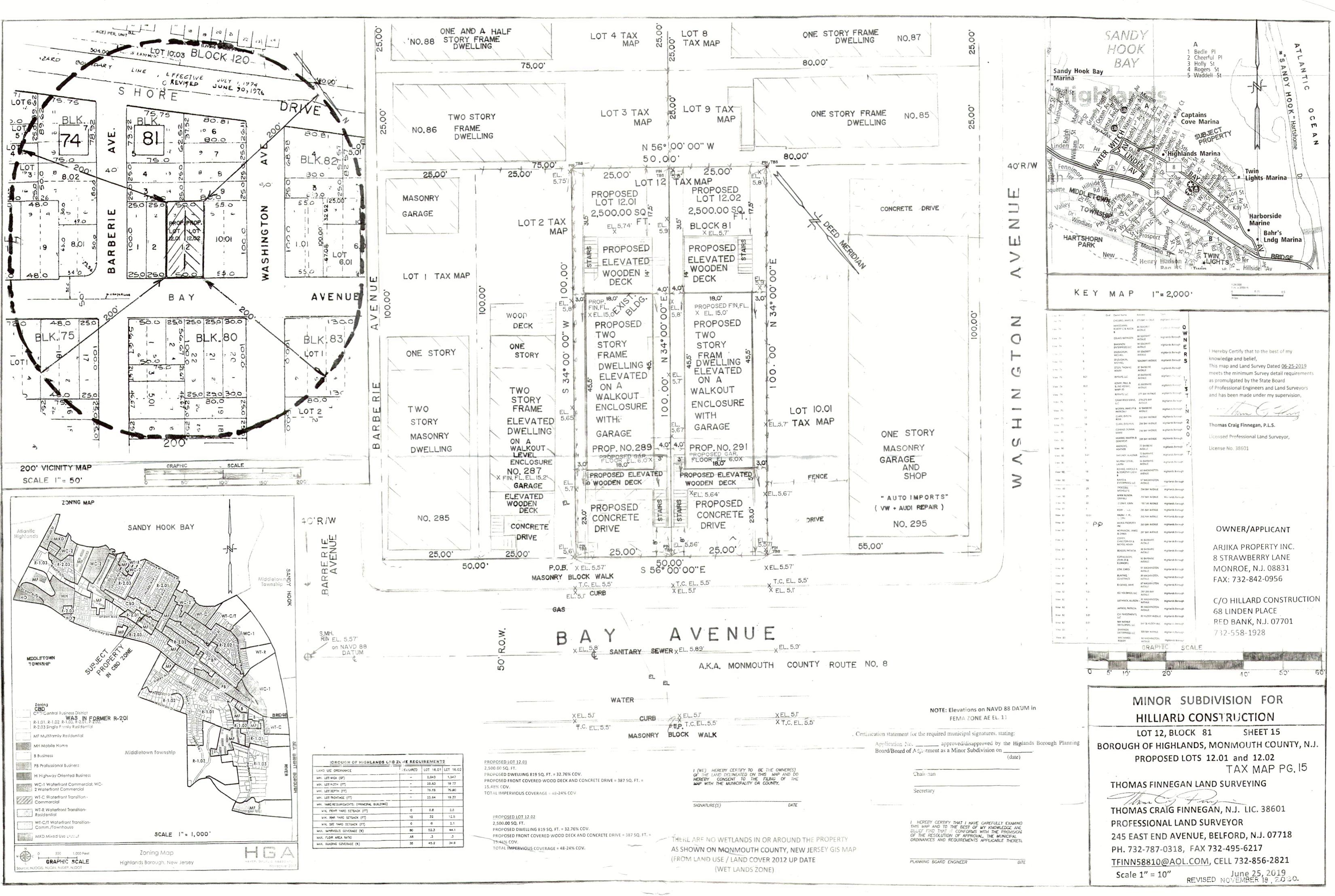
f. Where the ultimate design wind speed is 130 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable end walls' and 4 inches on center to gable end wall framing.

g. Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208 h. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter shall

be supported by framing members or solid blocking. i. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on

the opposite side of the rafter shall not be required.

GRAMMER DESIGNS, LLC A Limited Liability Company -KGD Celebrating 50-Years of Design-	241 Maple Avenue732-842-8021Red Bank, NJ 07701DesignStudio@kgdarch.comRon Grammer, ALA/NCARB, LEED.APNJ License No. 17604
FASTENING SCHEDLILE	
new residence for: HILLIARD CONSTRUCTION	289 BAY AVENUE HIGHLANDS, NEW JERSEY LOT 12.02
	SION NUMBER LE: NORTH
	DATE REVISION DRAWN: RCG SCALE: CHECKED: RCG AS NOTEI
PERMI	T SET
A-3	3.2
10.28.19	19-72









YOUR GOALS. OUR MISSION.

HGPB- R1840

September 11, 2020 Via Email

Michelle Hutchinson, Land Use Board Secretary Borough of Highlands Land Use Board 42 Shore Drive Highlands, New Jersey 07732

Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Plat[®]Requirements (completeness) CBD Zone

RECEIVED

DEC **1** 1 2020

LAND USE BOARD

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

- 1. Planning Board Application for Subdivision, dated August 17, 2020.
- 2. Zoning Denial, dated June 4, 2020.
- 3. Proposed Elevation Certificate, dated June 15, 2020.
- 4. Minor Subdivision Plan prepared by Thomas Finnegan Land Surveying, dated June 25, 2019 consisting of one (1) sheet.
- 5. Architectural Plans prepared by Grammer Designs, LLC, dated October 28, 2019, consisting of three (3) sheets.

It should be noted that the application was filed assuming the property lies within the R-2.01 Zone, although the zone was actually changed in 2018 to be CBD. New single-family dwellings are not permitted uses in the CBD zone, therefore this application will require use variance relief.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

- 1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided**.
- 2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Provided.**
- 3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be

1. .



:	Arjika Properties, Inc.
	289 Bay Avenue
	Block 81, Lot 12
	Review of Minor Subdivision, Plat Requirements (completeness)
	CBD Zone

presented from the custodian of tax records to that effect. Not provided. <u>Owner's list should be</u> shown on the minor subdivision plan.

- 4. The Tax Map sheet, block and lot numbers. Provided.
- 5. All streets or roads and streams within seventy-five (75) feet of the subdivision. Provided.
- 6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
- 7. Metes and bounds descriptions of all new lot and property lines. Provided.
- 8. Existence and location of any utility or other easement. Provided.
- 9. Setback, side line and rear yard distances and existing structures. Provided.
- 10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. Partially provided. <u>A graphic scale bar should be added to the minor subdivision plan</u>.
- Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. Not provided. <u>Applicant shall provide prior to public</u> <u>hearing.</u>
- 12. Certification statement for the required municipal signatures, stating: Not provided.
 - Application No. ______ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.

(date)

Chairman

Secretary

- Certification statement for the County Planning Board approval / disapproval, if required. Not provided. <u>Bay Avenue is County Route 8; therefore, County Planning Board approval will</u> <u>be required</u>.
- 14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. Incorrectly provided. The property used to be considered R-2.01 but was changed in 2018 to be in the CBD Zone. As this application will require use variance relief, the applicant shall show both the CBD Zone requirements and the R-2.01 requirements for reference.
- 15. A wetlands statement provided by a qualified expert. Not provided.
- 16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. Not applicable.
- 17. A lot grading plan, to be reviewed by the Borough Engineer, if required. This will be a condition of any approval.

Re:



HGPB-R1840 September 11, 2020 Page 3

Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Plat Requirements (completeness) CBD Zone

At this point, adequate information <u>has not</u> been provided for us to perform a technical review and fee calculation for the application, as the number of variances requested cannot be confirmed with the information provided. Therefore, at this time the application is deemed **INCOMPLETE**.

The following items should be addressed prior to the application being reconsidered for completeness:

- A. The Minor Subdivision plan shall include a zoning chart documenting the Ordinance bulk requirements and the proposed conditions for the project under both the CBD and R-2.01 requirements. It shall also include all of the items noted above as "not provided".
- B. The plan should note a compliant driveway width and confirm whether the minimum required two (2) off-street parking space demand per dwelling will be met, or if an additional variance will be required.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

devant a

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M. LAND USE BOARD ENGINEER

EWH

cc: Kim Gonzales, Borough Administrator (via email) Greg Baxter, Esq., Land Use Board Attorney (via email) Andrew Stockton, Land Use Board Chairman (via email) Rob Knox, Land Use Board Vice Chairman (via email) Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831 Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701 Thomas Craig Finnegan, 245 East End Avenue, Belford, NJ 07718

\tandmassociates.local\Public\Projects\HGPB\R1840\Correspondence\R1840_EWH_MH_Arjika_289 Bay Ave_B81_L12_Completeness.docx



HGPB- R1840

YOUR GOALS. OUR MISSION.

January 15, 2021 Via Email

Michelle Hutchinson, Land Use Board Secretary Borough of Highlands Land Use Board 42 Shore Drive Highlands, New Jersey 07732

Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Plat Requirements (second completeness) CBD Zone

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

- 1. Planning Board Application for Subdivision, dated August 17, 2020.
- 2. Zoning Denial, dated June 4, 2020. Updated Zoning Denial, dated September 11, 2020.
- 3. Proposed Elevation Certificate, dated June 15, 2020.
- 4. Minor Subdivision Plan prepared by Thomas Finnegan Land Surveying, dated June 25, 2019 and last revised November 18, 2020, consisting of one (1) sheet.
- 5. Architectural Plans prepared by Grammer Designs, LLC, dated October 28, 2019, consisting of three (3) sheets.
- 6. Response letter identifying checklist deficiency updates based on prior T&M completeness letter dated September 11, 2020.

<u>New single-family dwellings are not permitted uses in the CBD zone, therefore this application will require use variance relief.</u>

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

- 1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided**.
- 2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Provided.**
- 3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of



Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Plat Requirements (second completeness) CBD Zone

ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect. **Provided.**

- 4. The Tax Map sheet, block and lot numbers. Provided.
- 5. All streets or roads and streams within seventy-five (75) feet of the subdivision. Provided.
- 6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
- 7. Metes and bounds descriptions of all new lot and property lines. Provided.
- 8. Existence and location of any utility or other easement. Provided.
- 9. Setback, side line and rear yard distances and existing structures. Provided.
- 10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Provided.**
- 11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. Not provided. <u>Applicant shall provide prior to public hearing.</u>
- 12. Certification statement for the required municipal signatures, stating: Not provided.
 - Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.

(date)

Chairman

Secretary

- 13. Certification statement for the County Planning Board approval / disapproval, if required. Not provided but can be deferred. <u>Bay Avenue is County Route 8; therefore, County Planning Board approval will be required.</u>
- 14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Provided.**
- 15. A wetlands statement provided by a qualified expert. Provided.
- 16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **Not applicable.**
- 17. A lot grading plan, to be reviewed by the Borough Engineer, if required. This will be a condition of any approval.



Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Plat Requirements (second completeness) CBD Zone

At this point, adequate information has been provided for us to perform a technical review and fee calculation for the application.

UPON CONFIRMATION FROM THE BOARD SECRETARY THAT THE BALANCE OF ALL APPLICATION AND ESCROW FEES HAS BEEN DULY POSTED, THE FOLLOWING SHALL OCCUR:

- 1. The application shall be deemed **COMPLETE.**
- The Board Secretary shall refer the application to the Board Chairman for consideration of scheduling the public hearing, and so notify the applicant and interested parties in writing regarding the public hearing date and any notice requirements. <u>PLEASE NOTE THAT THE</u> <u>SCHEDULING OF HEARINGS MAY BE DELAYED AS A RESULT OF THE COVID-19</u> <u>PANDEMIC.</u>
- 3. The Board Engineer shall commence the technical review.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M. LAND USE BOARD ENGINEER

EWH

cc: Michael Muscillo, Borough Administrator (via email) Ron Cucchiaro, Esq., Land Use Board Attorney (via email) Rob Knox, Land Use Board Chairman (via email) Annemarie Tierney, Land Use Board Vice Chairman (via email) Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831 Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701 Thomas Craig Finnegan, PLS; 245 East End Ave, Belford, NJ 07718

\\tandmassociates.local\Public\Projects\HGPB\R1840\Correspondence\R1840_EWH_MH_Arjika_289 Bay Ave_B81_L12_Second Completeness.docx

January 15, 2021



YOUR GOALS, OUR MISSION.

HGPB- R1840

Michelle Hutchinson, Land Use Board Secretary Borough of Highlands Land Use Board 42 Shore Drive Highlands, New Jersey 07732

Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Fee and Escrow Calculation CBD Zone

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced site plan application. The applicant submitted the following documents in support of this application:

- 1. Planning Board Application for Subdivision, dated August 17, 2020.
- 2. Zoning Denial, dated June 4, 2020. Updated Zoning Denial, dated September 11, 2020.
- 3. Proposed Elevation Certificate, dated June 15, 2020.
- 4. Minor Subdivision Plan prepared by Thomas Finnegan Land Surveying, dated June 25, 2019 and last revised November 18, 2020, consisting of one (1) sheet.
- 5. Architectural Plans prepared by Grammer Designs, LLC, dated October 28, 2019, consisting of three (3) sheets.
- 6. Response letter identifying checklist deficiency updates based on prior T&M completeness letter dated September 11, 2020.

Please note the following fee calculations:

- 1. Application fee:
 \$ 1,300.00
- 2. Escrow fee: \$ 2,600.00

We will commence our technical review upon your notification that all fee and escrow balances have been <u>duly posted</u>.

If you have any questions or require additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M. LAND USE BOARD ENGINEER

EWH

Enclosure



- Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Review of Minor Subdivision, Fee and Escrow Calculation CBD Zone
- cc: Michael Muscillo, Borough Administrator (via email) Ron Cucchiaro, Esq., Land Use Board Attorney (via email) Rob Knox, Land Use Board Chairman (via email) Annemarie Tierney, Land Use Board Vice Chairman (via email) Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831 Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701

\tandmassociates.local\Public\Projects\HGPB\R1840\Correspondence\R1840_EWH_MH_Arjika_289 Bay Ave_B81_L12_Fee Letter.docx



HGPB-R1840

DETERMINATION OF FEES				
289 Bay Avenue				
Block 81, Lot 12				

A. APPLICATION FEES (Ord. 21-107)

A. Variances				
3. Residential "c" (side yard setbacks, buildings, x 4)	4	EA	\$ 125.00	\$ 500.00
Residential "c" (side yard setbacks, decks, x 2)	2	EA	\$ 125.00	\$ 250.00
4. Residential "d" (use not permitted)	1	EA	\$ 150.00	\$ 150.00
B. Subdivisions				
2. Minor	1	EA	\$ 400.00	\$ 400.00
B. ESCROW FEES (Ord. 21-108)B. Escrow Deposits (twice Application Fee; Minimum \$750)	1	LS	\$ 2,600.00	\$ 2,600.00

 Application fees subtotal
 \$
 1,300.00

 Escrow fee subtotal
 \$
 2,600.00

Total \$ 3,900.00



HGPB- R1840

March 9, 2021 Via Email

Michelle Hutchinson, Land Use Board Secretary Borough of Highlands Land Use Board 42 Shore Drive Highlands, New Jersey 07732

Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Minor Subdivision First Engineering Review

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced minor subdivision application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The applicant submitted the following documents in support of this application:

YOUR GOALS, OUR MISSION,

- 1. Planning Board Application for Subdivision, dated March 10, 2020.
- 2. Zoning Denial, dated June 4, 2020.
- 3. One (1) Minor Subdivision Plan prepared by Thomas Craig Finnegan, P.L.S. dated, June 25, 2019 revised through November 18, 2020, consisting of one (1) sheet.
- 4. One (1) Architectural Plan prepared by Grammar Designs, LLC, not dated, consisting of three (3) sheets.
- 5. Subdivision Application.

A. <u>Project Description</u>

The property in question is a 5,000 s.f. square lot with frontage on Bay Avenue. The property appears to be vacant at this time. Should the minor subdivision be approved, the applicant proposes to subdivide the property into two 2,500 s.f. lots and build a new dwelling on each lot, along with a concrete driveway, covered and elevated wooden front porch, an elevated rear wooden deck and attached garage.

B. <u>Planning and Zoning</u>

1. The property is located within the Central Business District (CBD) zone. Single-family dwellings are not a permitted use in this zone, therefore a d(1) use variance is required. As proposed, both new dwellings would take access from Bay Avenue.



2. Bulk Requirements:

CBD Zone	Zone Required		Proposed Lot 12.01	Proposed Lot 12.02	
Min. Lot Size (sf)	-	5,000	2,500	2,500	
Min. Lot Frontage (ft)	-	50.0	25.0	25.0	
Min. Lot Depth (ft)	-	100.0	100.0	100.0	
Min. Front Yard Setback (ft)	0	0	23.0 bldg. 18.0 porch	23.0 bldg 18.0 porch	
Minimum Rear Yard Setback (ft)	12	0	31.5	31.5	
Min. Side Yard Setback (ft)	5**	0	3.0(V) 4.0 (V)	3.0(V) 4.0 (V)	
Maximum Building Height (ft) ***	36	0	+/- 26.0	+/- 26.0	
Lot Coverage	80%	0	48.24%	48.24%	
Building Coverage	35%	0	32.76%	32.76%	
FAR	0.65	0	TBD	TBD	

**Section 21-91.A.4.a indicates that side yards are not required in the CBD Zone, however, if any are to be provided, they shall be at least five (5) feet.

***Where a dwelling is constructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2-1/2) feet.

(V) Proposed variance

- 3. The applicant's proposal requires the four (4) bulk 'c' variances as indicated in the chart above. In addition, side yard variance relief should be required for the front steps on both properties.
- 4. The applicant shall clarify their intent with respect to the front deck/covered porch on each property. If a roofed porch is proposed, the front setback would be measured to the face of the porch.
- 5. Section 21-91.A.4.b indicates that all buildings containing residential uses in the CBD Zone shall provide outdoor living space at the rate of one hundred (100) square feet per unit, plus fifty square feet per bedroom. The architectural plan provided for proposed lot 12.02 indicates that three (3) bedrooms are proposed, therefore requiring 250 square feet of outdoor living space. The combination of the proposed deck and rear yard area appears to meet this requirement. The applicant shall clarify if the proposed dwelling for lot 12.01 will be the same as lot 12.02, as only one architectural plan was provided.



- Re: Arjika Properties, Inc. 289 Bay Avenue Block 81, Lot 12 Minor Subdivision First Engineering Review
 - 6. It appears the applicant has provided a zoning chart which references incorrect Lots and has subsequently provided irrelevant lot information. The applicant shall revise the zoning chart to provide the correct zoning information for existing Lot 12 as well as proposed Lots 12.01 and 12.02.
 - 7. It should be noted that since single-family residential uses are not permitted in this zone, the bulk criteria requirements are not specifically geared to this use. The 3' and 4' side yard setbacks proposed are similar to the reduction criteria found in residential zone districts for "pre-existing nonconforming vacant lots" (Ordinance Section 21-98.F.1(f)), although do not appear to specifically apply in this instance.
 - 8. The applicant has shown proposed stairs on the sides of both properties, which will result in a side setback of only one (1) foot. Typically, stairs are required to be a minimum of 3' from all property lines. Additionally, having both sets of stairs abutting each other will make access to the rear of the lot more difficult.

Use Variance

The applicant must demonstrate that the application satisfies both the positive and the negative criteria of the Municipal Land Use Law for the granting of the use variance relief. The determination of the positive criteria establishes the benefits of the variance. The determination of the negative criteria establishes the detriments to the public good that would result from the variance. By nature, a variance is a departure from and an impairment of the zone plan. On balance, the benefits of granting the variance must be such that the resulting detriments are not substantial. The greater the benefits of the variance, the greater the detriments must be in order to be considered substantial. Accordingly, the applicant must demonstrate the following for "d" variance relief:

Positive Criteria

There are two prongs to the positive criteria that the applicant must satisfy, as follows:

That the site is particularly suited to the use. Unless the Board determines that the proposed use qualifies as an inherently beneficial use of the proposed site, the applicant must prove that the site is particularly suited to the use.

There are special reasons that allow a departure from the zoning regulations in this particular case. Unless the Board determines that the use qualifies as an inherently beneficial use as discussed above, the applicant must prove that special reasons support the grant of the variance. The only acceptable special reasons for the grant of a "d" variance would be proof that the variance promotes the purpose of zoning, or proof of undue hardship. The purposes of zoning are established by the Municipal Land Use Law (N.J.S.A. 40:55D-2) and the applicant must demonstrate that the variance promotes one or more of those purposes to establish special reasons. Alternatively, the applicant may offer as a special reason proof that refusal to grant the variance would result in undue hardship. Proof of undue hardship for a "d" variance requires that the applicant prove that the property cannot be reasonably adapted to conform to the zone requirements.



Negative Criteria

There are two prongs to the negative criteria that the applicant must satisfy, as follows:

That the variance can be granted without substantial detriment to the public good. This prong requires an evaluation of the impact of the variance on surrounding properties and a determination as to whether or not it causes such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.

That the variance will not substantially impair the intent and purpose of the zoning plan and ordinance. The Board of Adjustment is precluded by the negative criteria from granting any "d" variance relief unless an applicant demonstrates that the variance will not substantially impair the intent and purpose of the zone plan. The process for zoning decisions is through the recommendations of the municipal master plan as implemented through zoning ordinances adopted by the governing body. This establishes the zones, standards, and requirements for the development of the municipality. The Board of Adjustment is precluded by the negative criteria from granting any "d" variance relief unless an applicant demonstrates that the variance will not substantially impair the intent and purpose of the zone plan. If the grant of a variance substantially alters the municipality's zone plan, the action is impermissible because it usurps the zoning power of the governing body and undermines the municipal planning process.

To be entitled to bulk variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A. 40: 55D-70c for the bulk variances:

- Positive Criteria. The applicant must prove either a hardship in developing the site in conformance to the zone standards due to exceptional narrowness, shallowness, or shape of the property; or due to exceptional topographic conditions or physical features uniquely affecting the property; or due to an extraordinary and exceptional situation affecting the property or its lawful existing structures. Alternatively, the applicant may satisfy the positive criteria by demonstrating that the variance relief will promote a public purpose as set forth in the Municipal Land Use Law (N.J.S.A. 40:55D-2) and thereby provide improved community planning that benefits the public and the benefits of the variance substantially outweigh any detriment.
- Negative Criteria. The applicant must also show that the bulk variances can be granted without substantial detriment to the public good or substantially impairing the intent and purpose of the zone plan. This requires consideration of the impact of the proposed variances on surrounding properties and a determination as to whether or not the variance would cause such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.

C. Additional Comments

- 1. The properties are located in the AE-11 flood zone. The architectural elevations should note this, and the height measurement should be shown in accordance with the Ordinance definition, which is measured from the grade plane (flood elevation plus one foot) to the midline of the roof. My calculations show the height accordingly as approximately 26'.
- 2. The architectural plans shall note that appropriate flood zone construction techniques will be required.



- 3. Should the minor subdivision be approved, the applicant would have to submit plot/grading/stormwater management plans to the Zoning Officer for review and approval.
- 4. The plans note that a garage is proposed. The applicant shall clarify the number of garage spaces that are to be provided. Please note that two (2) off-street parking spaces per house are required. It appears that this requirement can be met with one garage space and the driveway pad 23' long.
- 5. The applicant has not indicated any proposed utility connections. A detailed utility plan shall be required should the application be approved.
- 6. Pursuant to Ordinance Section 21-65.10A (Landscaping and Street Trees), "All areas not devoted to structures, paving, or other required uses shall be appropriately graded, landscaped and maintained in accordance with a landscaping plan approved by the Board". The Board should determine if a landscaping plan is required.
- 7. We note that the applicant may not be proposing the subdivision within a residential zone, however given the intended use is residential we recommend that street trees be provided if feasible pursuant to Ordinance Section 21-65.10B (Landscaping and Street Trees), "In residential zones, street trees of at least two (2) to two and one-half (2-1/2) inch caliper will be required, planted a distance on center equivalent to no more than the width of their mature diameter. Where street trees are not appropriate because of views, existing vegetation, or other reason, the equivalent number of trees shall be located elsewhere on the lot". The Board should determine if street trees are required for this application.
- 8. Classification as a minor subdivision shall expire one hundred ninety (190) days from the date of approval unless within such period a plat in conformity with such approval and the provisions of the Map Filing Law, P.L. 1960, c. 141 (N.J.S.A. 46:23-9.9 et seq.), or a deed clearly describing the minor subdivision is filed by the developer with the County Recording Officer, the Borough Engineer and the Borough Tax Assessor. Any such plat or deed accepted for such filing shall have been signed by the Chairman and Secretary of the Board. In reviewing the application for a minor subdivision, the Board shall be permitted to accept a plat not in conformity with the Map Filing Act, P.L. 1960, c. 141 (N.J.S.A. 46:23-9.9 et seq.), provided that, if the developer chooses to file the minor subdivision as provided herein by plat rather than deed, such plat shall conform with the provisions of said act.
- 9. Should the application be approved, the applicant shall provide a written confirmation from the tax assessor that the lot numbering is acceptable prior to filing the deeds.
- 10. Should the application be approved, the applicant shall provide a metes and bounds deed description for review by the Board Engineer, and the legal form to the Board Attorney for review and approval prior to filing.



- 11. The applicant shall obtain outside agency approvals from the following as required:
 - a. Construction Official
 - b. Floodplain Official
 - c. Fire Official
 - d. NJDEP and
 - e. All other departments and agencies having jurisdiction.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M. LAND USE BOARD ENGINEER

EWH:TJL

cc: Michael Muscillo, Borough Administrator (via email) Ron Cucchiaro, Esq., Land Use Board Attorney (via email) Rob Knox, Land Use Board Chairman (via email) Annemarie Tierney, Land Use Board Vice Chairman (via email) Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831 Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701 Thomas Craig Finnegan, PLS; 245 East End Ave, Belford, NJ 07718

G:\Projects\HGPB\R1840\Correspondence\R1840_EWH_MH_Arjika_289 Bay Ave_B81_L12_First Engineering Review.docx