



Borough of Highlands Land Use Board
42 Shore Drive, Highlands, NJ 07732
Phone: 732-872-1224
Fax: 732-872-0670

Subdivision Application

Minor Subdivision:

Preliminary _____

Final ✓

Major Subdivision:

Preliminary _____

Final _____

For Official Use

Application Fee Paid: \$ _____

Date Received: _____

Received By: _____

Case No: _____

Board Action: _____

Date: _____

Application is hereby made for the classification of a sketch of a proposed subdivision of land hereinafter more particularly described:

Applicant Information

Name Paul Aora

Street 8 Strawberry Lane City Monroe State N.J. Zip 08832

Phone # _____

Owner Information (if other than applicant)

Name Same

Street _____ City _____ State _____ Zip _____

Phone # _____

Interest of applicant if other than owner: _____

RECEIVED

AUG 17 2020

LAND USE BOARD

Subdivision Information

Street Bay Ave Block 81 Lot 12.01 / 12.02 Zone R-2.01

Number of existing lots: One Number of proposed lots: Two

Area of entire tract: 50 x 10 and portion being subdivided: 25 x 100



Borough of Highlands Land Use Board
42 Shore Drive, Highlands, NJ 07732
Phone: 732-872-1224
Fax: 732-872-0670

Affidavit of Applicant

State of New Jersey)

SS.

County of Monmouth)

I, the undersigned, certify that all of the statements contained herein are true and correct to the best of my knowledge, information and belief.



Applicant's Signature

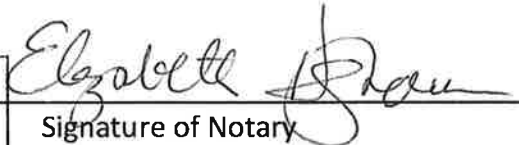
Date

Sworn and subscribed

before me this 17

day of August, 2020

ELIZABETH HEMINGHAUS
NOTARY PUBLIC
STATE OF NEW JERSEY
MY COMMISSION EXPIRES 1-31-2025



Signature of Notary

Authorization

(If anyone other than the owner is making this application, the following authorization must be completed.)

To the Land Use Board:

_____ is hereby authorized to make this application.

Date: _____

Signature of Owner: _____

RECEIVED
AUG 17 2020
LAND USE BOARD



Borough of Highlands Land Use Board
42 Shore Drive, Highlands, NJ 07732
Phone: 732-872-1224
Fax: 732-872-0670

Development Plans

Sell lot only:

☐ Yes

☐ No

Construct houses for sale:

☒ Yes

☐ No

Other: _____

Attach a copy of any deed restrictions or restrictive covering

Information of Person Preparing Sketch Plat

Name

~~Thomas Craig Finnegan~~ Thomas Craig Finnegan

Street

245 East End Ave City Belford State NJ Zip

07718

Phone #

732-0318

Sketch Plat Requirements

The Sketch Plat shall be based on the Tax Map information or other similar accurate information based at a scale preferably not less than 100 feet to the inch to enable the entire tract to be shown on one sheet and shall show or include the following information:

- The location of that portion which is to be subdivided in relation to the entire tract.
- All existing structures and wooded areas within the portion to be subdivided and within 200 feet thereof.
- The name of the owners and of adjoining lots within 200 feet as disclosed by the most recent tax record information (Major subdivision, or minor is not waived by the Board).
- The Tax Map Sheet, Block and Lot numbers.
- All streets or roads and streams within 200 feet of the subdivision.
- Sketch of proposed layout of Street, Lots and other features in relation to existing conditions.

RECEIVED

AUG 17 2020

LAND USE BOARD

BOROUGH OF HIGHLANDS, N. J.

INCORPORATED 1900

42 SHORE DRIVE
07732
COUNTY OF MONMOUTH

732-872-1224 PH
732-872-0670 FX

WWW.HIGHLANDBOROUGH.ORG



CAROLYN BROULLON
MAYOR

KIMBERLY GONZALES
ADMINISTRATOR

MATTHEW CONLON, RMC
BOROUGH CLERK

DENIAL OF DEVELOPMENT PERMIT

June 4, 2020

Arjika Properties
8 Strawberry
Monroe, NJ 08831

RE: 289 Bay Avenue
Block 81, Lots 12

Please be advised that the above referenced application to subdivide the property, creating two building lots, has been reviewed for compliance with the Borough of Highlands Zoning Ordinance. The property is located in the R-201 zone.

This application will require the following approvals:

Submission of a Floodplain Certification has not been included. This is a requirement. ✓ 6/18/2020

Your front setback has been incorrectly calculated on the plan, the setback would be to the covered porch. Please correct.

#21-55	Minor subdivision
#21-864a	Minimum lot area: 3,750 s.f is required, 2,500 s.f. is proposed 2 variances
	Minimum frontage: 50' is required, 25' is proposed 2 variances
	Side setback: 6/8' is required, 3/4' is proposed 4 variances
#21-65.27A	Deck (unroofed) requires 3' to property line, where 1' is proposed 2 variances

Please contact the Land Use Board Secretary, Michelle Hutchinson, at 732-872-1224 to proceed with an application. Should you have any questions, feel free to contact me.



COPY

Sincerely,

Marianne Dunn
Zoning Officer



Application for Zoning Permit --- Z 2020-38

Borough of Highlands

42 Shore Drive, Highlands, NJ 07732

Phone: 732-872-1224

Fax: 732-872-0670

Note: All applications must be accompanied by a property survey showing the sizes of the structure(s) and their location. Applications involving businesses must show the scope of the business and include all activities that will be a part of the business.

The Following Fees Shall Apply:

Residential Applications: New Construction single or two-family- \$50

Fence - \$15

Renovations/Additions/Alterations/Repairs- \$10, Other Residential - \$100/unit

Shed - \$25

Non-Residential Applications - New Construction - \$100, Renovations/Additions - \$25

OWNER/APPLICANT

Name: Argika Properties Inc
Address: 8 Strawberry Monroe 08831
Telephone: Home: 732-558-1928 Work: _____
Date: 5/10/20 Fee: \$ 50.00 Check # 2900 Cash _____

LOCATION OF THE WORK

Block: P1 Lot(s): 1201-1202 Zone: R201
Street Address: 289 Bay Ave Highlands NJ

DESCRIPTION OF THE WORK TO BE PERFORMED (OR USE PROPOSED)

Construct minor subdivision for two single family homes

Check one: ☒ New ☐ Addition ☐ Alteration ☐ Repair ☐ Other _____

I certify the attached survey is accurate relating to existing and proposed improvements. In addition, I grant permission to the Borough of Highlands and their Agents to come onto the subject property, for the purposes of conduction inspections, relating to the application.

☒ Yes ☐ No

Signature: Christina Puleo Date: 5/10/20

FLOOD HAZARD AREA DETERMINATION

Check Applicable Flood Zone: ☐ AE ☐ VE ☐ X

All applications within the AE and VE Flood Zoned, as indication upon the most recent FEMA Flood Maps, require submission to an applicably determination from the NJDEP.

FOR BOROUGH USE ONLY

Determination: ☐ APPROVED ☒ DENIED

If your application has been DENIED, it is due to the following:

Ordinance Section Allowed/Required Proposed

Remarks:

See attached

Zoning Officer M. Wrenn Date 6/4/20

Note: A Zoning Permit indicates that the proposed project conforms to the planning/zoning regulations of the Borough of Highlands; A building permit is required (per the requirements of the Uniform Construction Code of NJ) BEFORE beginning work. The Zoning Permit is valid for one year. If your application has been denied, you may appeal this denial to the Land Use Board as provided by the New Jersey Municipal Land Use Law. You must submit letter of appeal to Land Use Board secretary within 20 days.

Note: If the following box is checked, you must submit a Flood Review Application to the Borough Flood Administrator,

☐ Local Flood Review Required

"PROPOSED" ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name ARJIKA PROPERTY INC.				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 289 BAY AVENUE				Company NAIC Number:	
City HIGHLANDS		State New Jersey		ZIP Code 07732	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) PROPOSED LOT 12.01 IN BLOCK 81 ON TAX MAP OF BOROUGH OF HIGHLANDS , TAX MAP NO. 15					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u> PROPOSED AND ELEVATED					
A5. Latitude/Longitude: Lat. <u>40° 24' 14.63" N</u> Long. <u>73° 59' 32.20" W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>7</u> PROPOSED WALKOUT LEVEL ENCLOSURE WITH GARAGE					
A8. For a building with a crawlspace or enclosure(s): a) Square footage of crawlspace or enclosure(s) <u>419.00</u> sq ft b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>2</u> c) Total net area of flood openings in A8.b <u>600.00</u> sq in d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No PROPOSED SMART VENTS MODEL 1540-51C					
A9. For a building with an attached garage: ATTACHED GARAGE IN ENCLOSURE a) Square footage of attached garage <u>400.00</u> sq ft b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>2</u> c) Total net area of flood openings in A9.b <u>400.00</u> sq in d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No PROPOSED SMART VENTS MODEL 1540-51C					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number BOROUGH OF HIGHLANDS			B2. County Name MONMOUTH COUNTY		B3. State New Jersey
B4. Map/Panel Number 34025C 0088G	B5. Suffix G	B6. FIRM Index Date 06-20-2018	B7. FIRM Panel Effective/ Revised Date 06-20-2018	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) ELEVATION 11'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 289 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: KV0848 MONMOUTH J-70 Vertical Datum: ELEVATION 86.43'

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

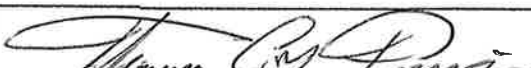
Check the measurement used.

	PROPOSED			
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	6.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
b) Top of the next higher floor	PROPOSED ELEVATED FIN. FLOOR 15.2	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
c) Bottom of the lowest horizontal structural member (V Zones only)	N/A	<input type="checkbox"/> feet	<input type="checkbox"/> meters	
d) Attached garage (top of slab)	PROPOSED GARAGE FLOOR 6.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	PROP. AC UNIT 14.5	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
f) Lowest adjacent (finished) grade next to building (LAG)	5.7	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
g) Highest adjacent (finished) grade next to building (HAG)	5.9	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	5.8	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name THOMAS CRAIG FINNEGAN P.L.S.	License Number N.J.G.S. 38601	Place Seal Here	
Title PROFESSIONAL LAND SURVEYOR			
Company Name THOMAS FINNEGAN LAND SURVEYING			
Address 245 EAST END AVENUE			
City BELFORD	State New Jersey		ZIP Code 07718
Signature 	Date 06-15-2020	Telephone (732) 787-0318	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
THE ELEVATED PROPOSED DWELLING FINISHED FLOOR ELEVATION 15.02'
THE FURNACE/WATER HEATER TO BE AT ELEVATION 15.2'
THE AC UNIT TO BE AT ELEVATION 14.5'
THE ENCLOSURE AND GARAGE FLOOR TO BE AT ELEVATION 6.0'
THE ENGINEERED FLOOD VENTS TO BE SMART VENT MODEL NO. 1540-510

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 289 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 289 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement		
G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____		
G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____		
G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____		
Local Official's Name		Title
Community Name		Telephone
Signature		Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two Caption

Clear Photo Two

ELEVATION CERTIFICATE

BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.

FOR INSURANCE COMPANY USE

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
291 BAY AVENUE

Policy Number:

City
HIGHLANDS

State
New Jersey

ZIP Code
07732

Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four Caption

Clear Photo Four

"PROPOSED" ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name ARJIKA PROPERTY INC.				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE				Company NAIC Number:	
City HIGHLANDS		State New Jersey		ZIP Code 07732	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) PROPOSED LOT 12.02 IN BLOCK 81 ON TAX MAP OF BOROUGH OF HIGHLANDS , TAX MAP NO. 15					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) RESIDENTIAL PROPOSED AND ELEVATED					
A5. Latitude/Longitude: Lat. 40° 24' 14.80" N Long. 73° 59' 32.44" W Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>7</u> PROPOSED WALKOUT LEVEL ENCLOSURE WITH GARAGE					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>419.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>3</u>					
c) Total net area of flood openings in A8.b <u>600.00</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
PROPOSED SMART VENTS MODEL I540-510					
A9. For a building with an attached garage:					
a) Square footage of attached garage <u>400.00</u> sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>2</u>					
c) Total net area of flood openings in A9.b <u>400.00</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
PROPOSED VENTS SMART VENTS MODEL I540-510					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number BOROUGH OF HIGHLANDS			B2. County Name MONMOUTH COUNTY		B3. State New Jersey
B4. Map/Panel Number 34025C 0088G	B5. Suffix G	B6. FIRM Index Date 06-20-2018	B7. FIRM Panel Effective/ Revised Date 06-20-2018	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) ELEVATION 11'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: KV0848 MONMOUTH J-70 Vertical Datum: ELEVATION 86.43'

Indicate elevation datum used for the elevations in items a) through h) below.

☐ NGVD 1929 ☒ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	PROPOSED	6.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
b) Top of the next higher floor	PROPOSED ELEVATED FIN. FLOOR	15.2	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
c) Bottom of the lowest horizontal structural member (V Zones only)		N/A	<input type="checkbox"/> feet	<input type="checkbox"/> meters
d) Attached garage (top of slab)	PROPOSED GARAGE FLOOR	6.0	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	PROP. AC UNIT	14.5	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
f) Lowest adjacent (finished) grade next to building (LAG)		5.7	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
g) Highest adjacent (finished) grade next to building (HAG)		5.9	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support		5.8	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters


SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☒ Yes ☐ No ☐ Check here if attachments.

Certifier's Name THOMAS CRAIG FINNEGAN P.L.S.	License Number N.J.G.S. 38601
Title PROFESSIONAL LAND SURVEYOR	
Company Name THOMAS FINNEGAN LAND SURVEYING	
Address 245 EAST END AVENUE	
City BELFORD	State New Jersey
ZIP Code 07718	

Place
Seal
Here

Signature 	Date 06-15-2020	Telephone (732) 787-0318	Ext.
--	--------------------	-----------------------------	------

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
THE ELEVATED PROPOSED DWELLING FINISHED FLOOR ELEVATION 15.02'
THE FURNACE/WATER HEATER TO BE AT ELEVATION 15.2'
THE AC UNIT TO BE AT ELEVATION 14.5'
THE ENCLOSURE AND GARAGE FLOOR TO BE AT ELEVATION 6.0'
THE ENGINEERED FLOOD VENTS TO BE SMART VENT MODEL NO. 1540-510

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE			Policy Number:	
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number	

**SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED)
FOR ZONE AO AND ZONE A (WITHOUT BFE)**

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ ☐ feet ☐ meters ☐ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address	City	State	ZIP Code
Signature	Date	Telephone	

Comments

☐ Check here if attachments.

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE			Policy Number:	
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number	

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
G7. This permit has been issued for: <input type="checkbox"/> New Construction <input type="checkbox"/> Substantial Improvement		
G8. Elevation of as-built lowest floor (including basement) of the building: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____		
G9. BFE or (in Zone AO) depth of flooding at the building site: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____		
G10. Community's design flood elevation: _____ <input type="checkbox"/> feet <input type="checkbox"/> meters Datum _____		
Local Official's Name		Title
Community Name		Telephone
Signature		Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.

BUILDING PHOTOGRAPHS

ELEVATION CERTIFICATE

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

Photo Three

Photo Three Caption

Clear Photo Three

Photo Four

Photo Four Caption

Clear Photo Four

BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

ELEVATION CERTIFICATE

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 291 BAY AVENUE			Policy Number:
City HIGHLANDS	State New Jersey	ZIP Code 07732	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two Caption

Clear Photo Two



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ESR-2074

Reissued 02/2017

This report is subject to renewal 02/2019.

DIVISION: 08 00 00—OPENINGS

SECTION: 08 95 43—VENTS/FOUNDATION FLOOD VENTS

REPORT HOLDER:

SMARTVENT PRODUCTS, INC.

**430 ANDBRO DRIVE, UNIT 1
PITMAN, NEW JERSEY 08071**

EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520;
#1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514**



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ICC-ES Evaluation Report

ESR-2074

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A Subsidiary of the International Code Council®

DIVISION: 08 00 00—OPENINGS

Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMARTVENT PRODUCTS, INC.
430 ANDBRO DRIVE, UNIT 1
PITMAN, NEW JERSEY 08071
(877) 441-8368

www.smartvent.com
info@smartvent.com

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS:
MODELS #1540-520; #1540-521; #1540-510; #1540-511;
#1540-570; #1540-574; #1540-524; #1540-514

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2015, 2012, 2009 and 2006 *International Building Code®* (IBC)
- 2015, 2012, 2009 and 2006 *International Residential Code®* (IRC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)[†]

[†]The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

- Physical operation
- Water flow

2.0 USES

The Smart Vent® units are engineered mechanically operated flood vents (FVs) employed to equalize hydrostatic pressure on walls of enclosures subject to rising or falling flood waters. Certain models also allow natural ventilation.

3.0 DESCRIPTION

3.1 General:

When subjected to rising water, the Smart Vent® FVs internal floats are activated, then pivot open to allow flow in either direction to equalize water level and hydrostatic pressure from one side of the foundation to the other. The FV pivoting door is normally held in the closed position by a buoyant release device. When subjected to rising water,

the buoyant release device causes the unit to unlatch, allowing the door to rotate out of the way and allow flow. The water level stabilizes, equalizing the lateral forces. Each unit is fabricated from stainless steel. Smart Vent® Automatic Foundation Flood Vents are available in various models and sizes as described in Table 1. The SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 units each contain two vertically arranged openings per unit.

3.2 Engineered Opening:

The FVs comply with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/SEI 24, Smart Vent FVs must be installed in accordance with Section 4.0.

3.3 Ventilation:

The SmartVENT® Model #1540-510 and SmartVENT® Overhead Door Model #1540-514 both have screen covers with 1/4-inch-by-1/4-inch (6.35 by 6.35 mm) openings, yielding 51 square inches (32 903 mm²) of net free area to supply natural ventilation. The SmartVENT® Stacking Model #1540-511 consists of two Model #1540-510 units in one assembly, and provides 102 square inches (65 806 mm²) of net free area to supply natural ventilation. Other FVs recognized in this report do not offer natural ventilation.

4.0 DESIGN AND INSTALLATION

SmartVENT® and FloodVENT® are designed to be installed into walls or overhead doors of existing or new construction from the exterior side. Installation of the vents must be in accordance with the manufacturer's instructions, the applicable code and this report. Installation clips allow mounting in masonry and concrete walls of any thickness. In order to comply with the engineered opening design principle noted in Section 2.7.2.2 and 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Smart Vent® FVs must be installed as follows:

- With a minimum of two openings on different sides of each enclosed area.
- With a minimum of one FV for every 200 square feet (18.6 m²) of enclosed area, except that the SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 must be

installed with a minimum of one FV for every 400 square feet (37.2 m²) of enclosed area.

- Below the base flood elevation.
- With the bottom of the FV located a maximum of 12 inches (305.4 mm) above the higher of the final grade or floor and finished exterior grade immediately under each opening.

5.0 CONDITIONS OF USE

The Smart Vent® FVs described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The Smart Vent® FVs must be installed in accordance with this report, the applicable code and the manufacturer's installation instructions. In the event of a conflict, the instructions in this report govern.

- 5.2 The Smart Vent® FVs must not be used in the place of "breakaway walls" in coastal high hazard areas, but are permitted for use in conjunction with breakaway walls in other areas.

6.0 EVIDENCE SUBMITTED

Data in accordance with the ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC364), dated August 2015.

7.0 IDENTIFICATION

The Smart VENT® models recognized in this report must be identified by a label bearing the manufacturer's name (Smartvent Products, Inc.), the model number, and the evaluation report number (ESR-2074).

TABLE 1—MODEL SIZES

MODEL NAME	MODEL NUMBER	MODEL SIZE (in.)	COVERAGE (sq. ft.)
FloodVENT®	1540-520	15 ³ / ₄ " X 7 ³ / ₄ "	200
SmartVENT®	1540-510	15 ³ / ₄ " X 7 ³ / ₄ "	200
FloodVENT® Overhead Door	1540-524	15 ³ / ₄ " X 7 ³ / ₄ "	200
SmartVENT® Overhead Door	1540-514	15 ³ / ₄ " X 7 ³ / ₄ "	200
Wood Wall FloodVENT®	1540-570	14" X 8 ³ / ₄ "	200
Wood Wall FloodVENT® Overhead Door	1540-574	14" X 8 ³ / ₄ "	200
SmartVENT® Stacker	1540-511	16" X 16"	400
FloodVent® Stacker	1540-521	16" X 16"	400

For SI: 1 inch = 25.4 mm; 1 square foot = m²

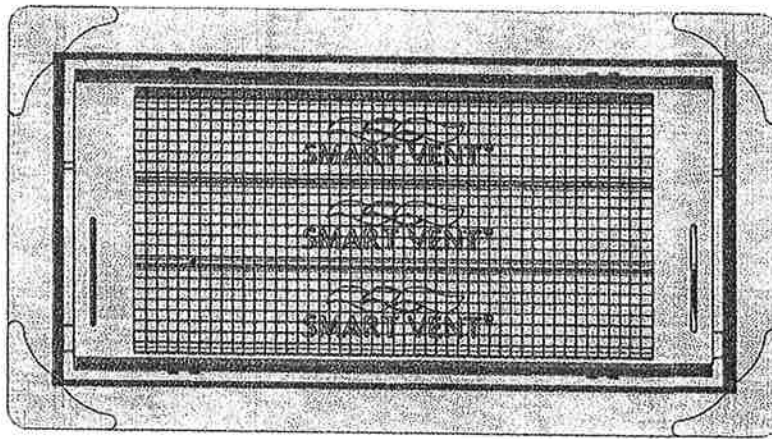


FIGURE 1—SMART VENT: MODEL 1540-510

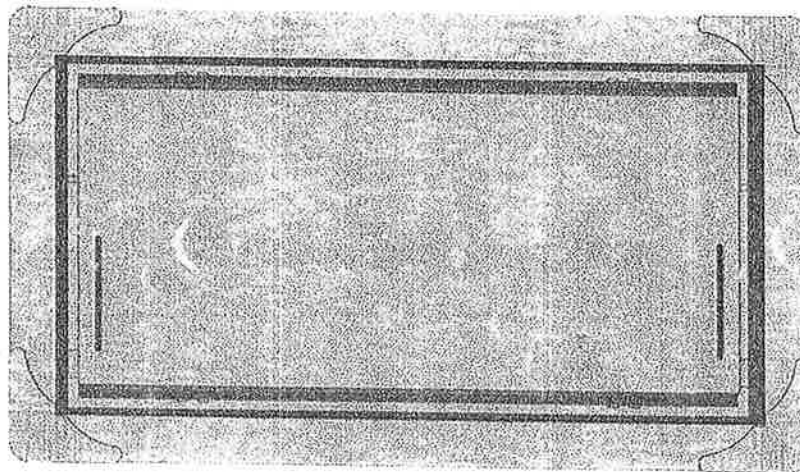


FIGURE 2—SMART VENT MODEL 1540-520

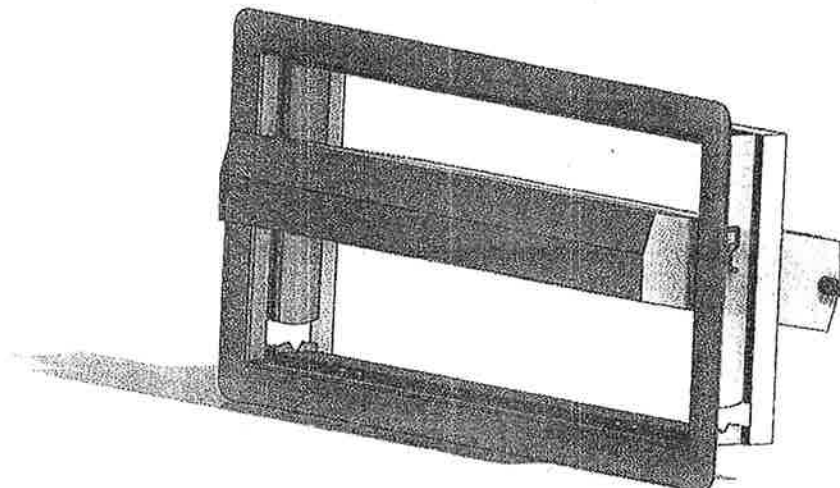


FIGURE 3—SMART VENT: SHOWN WITH FLOOD DOOR PIVOTED OPEN



ICC-ES Evaluation Report

ESR-2074 CBC and CRC Supplement

Issued February 2017

Revised November 2017

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A Subsidiary of the International Code Council®

DIVISION: 08 00 00—OPENINGS

Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMARTVENT PRODUCTS, INC.

430 ANDBRO DRIVE, UNIT 1

PITMAN, NEW JERSEY 08071

(877) 441-8368

www.smartvent.com

info@smartvent.com

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, recognized in ICC-ES master evaluation report ESR-2074, have also been evaluated for compliance with codes noted below.

Applicable code edition:

- 2016 California Building Code (CBC)
- 2016 California Residential Code (CRC)

2.0 CONCLUSIONS

2.1 CBC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the master evaluation report ESR-2074, comply with 2016 CBC Chapter 12, provided the design and installation are in accordance with the 2015 *International Building Code*® (IBC) provisions noted in the master report and the additional requirements of CBC Chapters 12, 16 and 16A, as applicable.

The products recognized in this supplement have not been evaluated under CBC Chapter 7A for use in the exterior design and construction of new buildings located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Fire Area.

2.2 CRC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the master evaluation report ESR-2074, comply with the 2016 CRC, provided the design and installation are in accordance with the 2015 *International Residential Code*® (IRC) provisions noted in the master report.

The products recognized in this supplement have not been evaluated under 2016 CRC Chapter R337, for use in the exterior design and construction of new buildings located in any Fire Hazard Severity Zone within State Responsibility Areas or any Wildland-Urban Interface Fire Area.

The products recognized in this supplement have not been evaluated for compliance with the International Wildland-Urban Interface Code®.

This supplement expires concurrently with the master report, reissued February 2017 and revised November 2017.



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ICC-ES Evaluation Report

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1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, recognized in ICC-ES master report ESR-2074, have also been evaluated for compliance with the codes noted below.

Applicable code editions:

- 2017 Florida Building Code—Building
- 2017 Florida Building Code—Residential

2.0 CONCLUSIONS

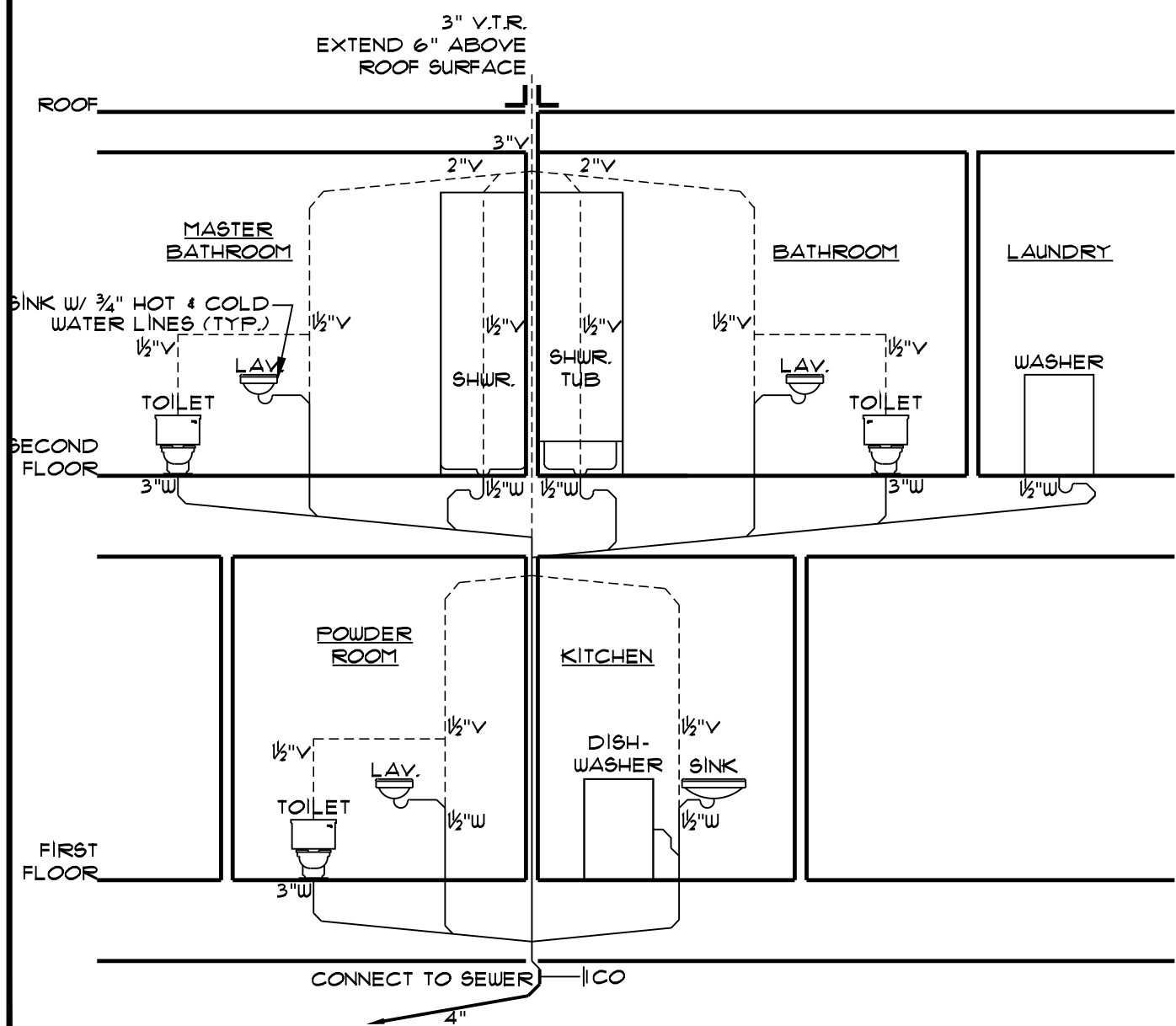
The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the master evaluation report ESR-2074, comply with the *Florida Building Code—Building* and the FRC, provided the design and installation are in accordance with the 2015 *International Building Code*® provisions noted in the master report.

Use of the Smart Vent® Automatic Foundation Flood Vents has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Building* and the *Florida Building Code—Residential*.

For products falling under Florida Rule 9N-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

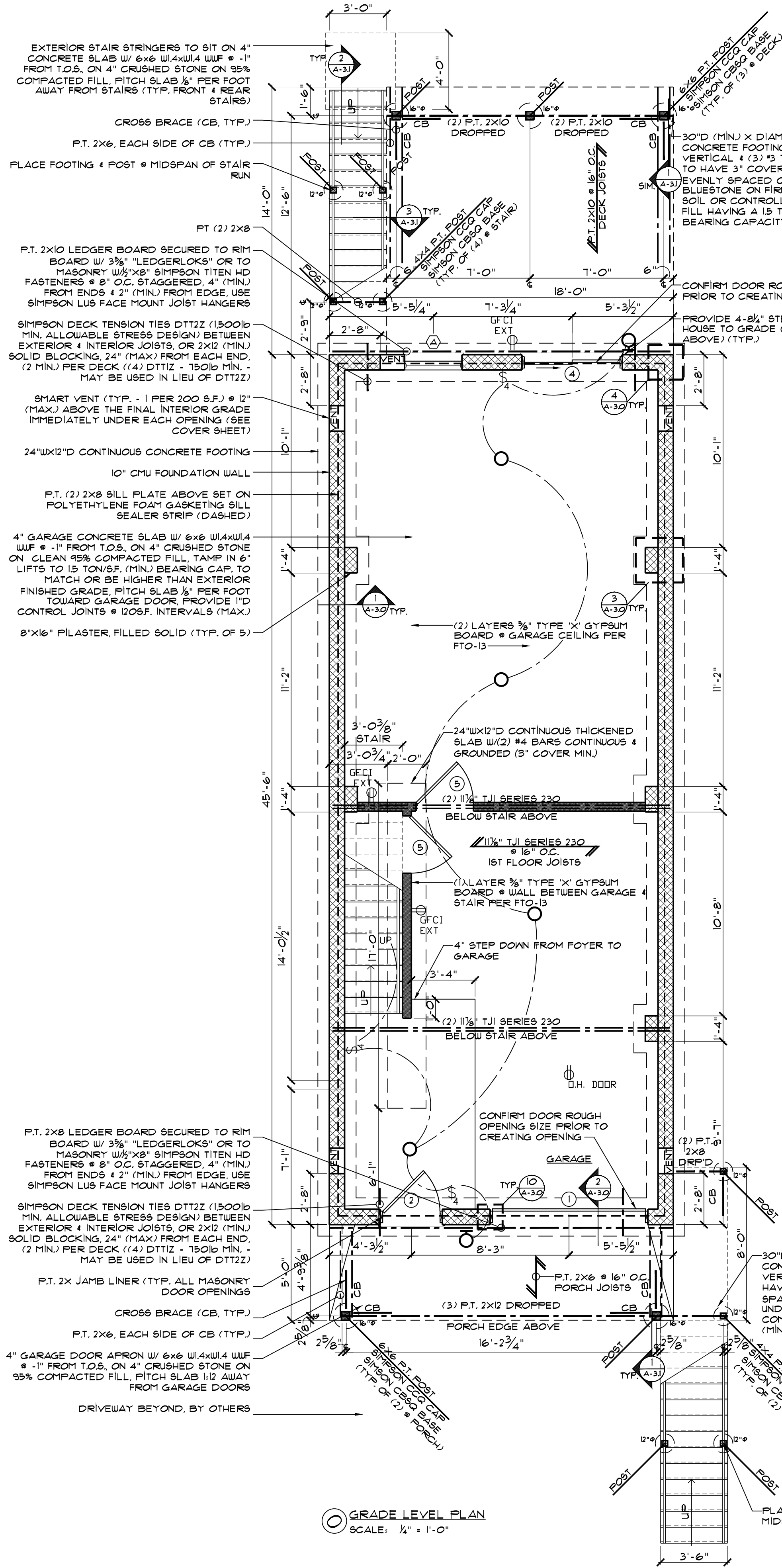
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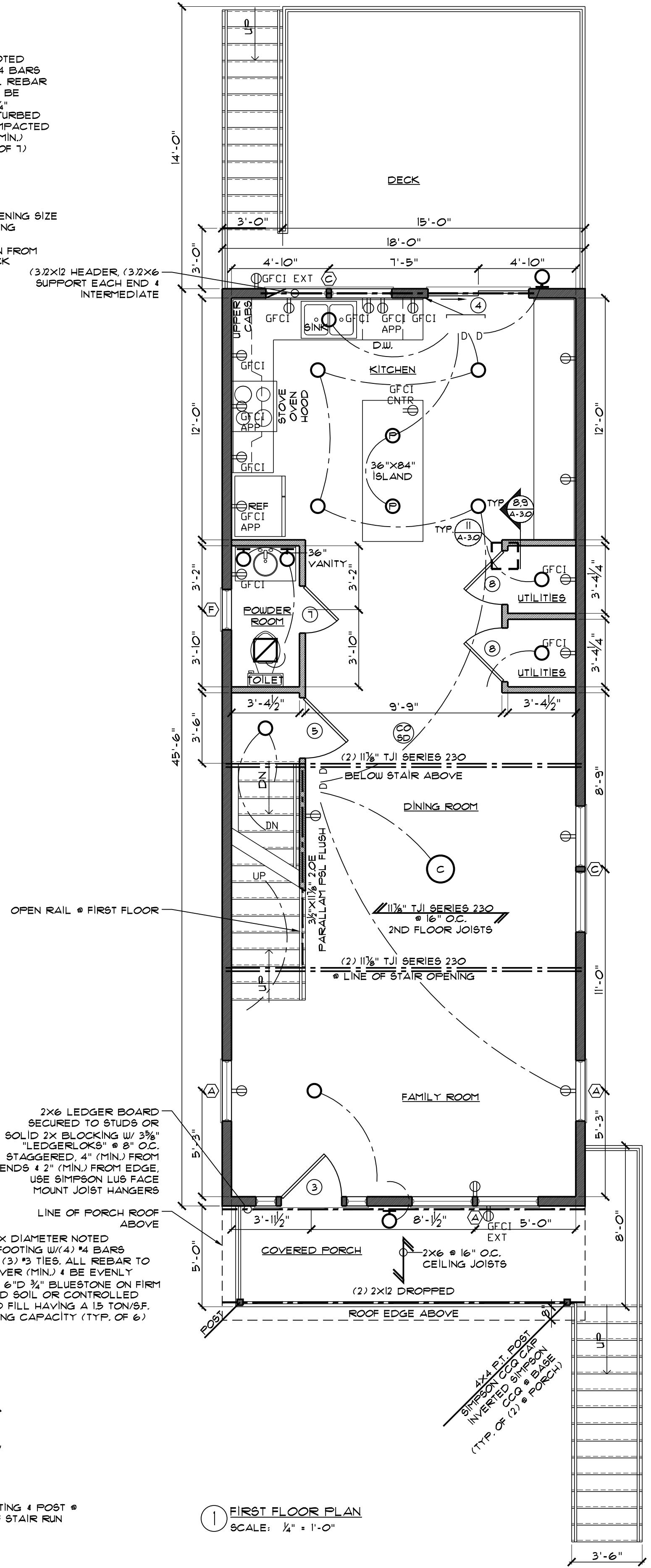


2 PLUMBING RISER DIAGRAM
SCALE: N.T.S.

- PLUMBING:
- MAINTAIN 1/4" FT PITCH ON ALL WASTE LINES
 - ALL PLUMBING FIXTURE LOCATIONS ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNER'S PLUMBING CONTRACTOR TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION.



GRADE LEVEL PLAN
SCALE: 1/4" = 1'-0"



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- LEGEND
- 10" CMU
 - 2X4 WALL
 - 2X6 WALL
1. DIMENSIONS ARE MEASURED TO ACTUAL MATERIAL SIZES, UNLESS OTHERWISE INDICATED
2. ALL DIMENSIONS TO BE VERIFIED PRIOR TO EXCAVATION & CONSTRUCTION
3. SEE GENERAL NOTES FOR ADDITIONAL INFO.
4. FASTENERS
5. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES OR DEFICIENCIES EXIST.

EXCAVATION NOTE:

A. OWNER'S CONTRACTORS TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO EXCAVATION & START OF CONSTRUCTION.

B. CONTACT ARCHITECT IMMEDIATELY IF WATER IS PRESENT DURING EXCAVATION

- STRUCTURAL: (UNLESS OTHERWISE NOTED)
- A. ALL STRUCTURE MUST BE ABLE TO SUPPORT THE FOLLOWING UNIFORMLY DISTRIBUTED LOADS:
- AB. LIVE FLOOR LOAD: 40 PSF
 - AC. LIVE FLOOR LOAD (BEDROOMS): 30 PSF
 - AD. LIVE DECK LOAD: 40 PSF
 - AE. LIVE ATTIC LOAD: 20 PSF
 - AF. LIVE ROOF LOAD: 20 PSF
 - AG. SNOW LOAD: 20 PSF
- B. ALL 2X STRUCTURAL FRAMING TO BE DOUG FIR LARCH #2 OR BETTER (UNFACTORED $F_b=1015\text{psi}$; $E=1600000\text{psi}$; MIN. "S-DRY" (19% MAX. MOISTURE CONTENT)
- C. ALL POSTS SHALL BE DOUG FIR #1 OR BETTER (UNFACTORED $F_c=955\text{psi}$; $F_v=50\text{psi}$; $E=1300000\text{psi}$; MIN.)
- D. ALL EXTERIOR EXPOSED WOOD TO BE PRESERVATIVE TREATED (PT) STRUCTURE TO HAVE FULL 3" END BEARING (MIN.)
- E. INSTALL PROPER JOIST HANGERS @ ALL JOIST MEMBERS PER THE MANUFACTURER'S REQ.
- F. ALL JOISTS SHALL HAVE (1) ROW OF BRIDGING AT MIDSPAN (OF SAME SIZE AS JOISTS)
- G. PLACE DOUBLE JOISTS OR SOLID BLOCKING, SAME DEPTH AS JOISTS UNDER WALLS ABOVE
- H. ALL RIM JOISTS SHALL BE TIMBERSTRAND 1/2" LVL RIM JOIST TO SUPPORT 3400lb/ft (MIN.)
- I. PROVIDE TJI LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIALS
- J. FOLLOW ENGINEERED LUMBER MANUFACTURER'S REQUIREMENTS FOR INSTALLATION, KNOTCHING & CUTTING HOLES
- K. SEE MINIMUM WOOD FASTENING SCHEDULE FOR ADDITIONAL INFORMATION

- HEADER SCHEDULE: (UNLESS OTHERWISE NOTED)
- CONCRETE OPENINGS
- CONCRETE TO BE 4000 PSI
 - REBAR TO BE GRADE 60
 - 8" BEARING ON FULLY GROUTED CORES (16" HORIZONTALLY FROM OPENING EDGE, MIN.) W/ (1) 5 BAR FROM BOTTOM OF HEADER TO TOP OF FOOTING, EACH END (MIN.)
- 8" BEARING - 16" GROUTED SOLID FULL DEPTH (MIN.)
- 15 BAR FULL HEIGHT - 16" GROUTED SOLID FULL DEPTH (MIN.)

- OPENING SIZE
- UP TO 10'-0"
- 9 5/8" WALL (1) 4X8 CONCRETE LINTEL (1) 6X8 CONCRETE LINTEL (1) 5 BAR TOP & BOTTOM, EACH

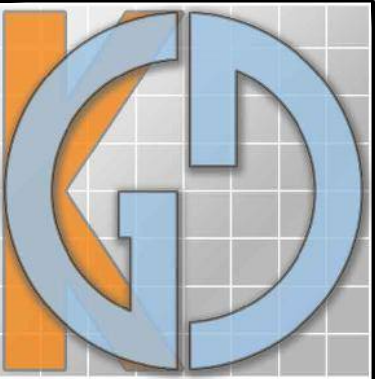
- 2X4 WOOD FRAMED OPENINGS
- PROVIDE 1/2" PLYWOOD SPACER BETWEEN MEMBERS 3/8" WALL THICKNESS
 - ALL OPENINGS TO HAVE (2) 2X4 JACK STUDS & (1) 2X4 KING STUD, EACH SIDE
- OPENING SIZE
- UP TO 3'-0"
- GLUE & NAIL (2) ROUS 16d @ 16" O.C. 3'-0" TO 3'-0" (2) 2X8 GLUE & NAIL (3) ROUS 16d @ 16" O.C. 5'-0" TO 8'-0" (2) 2X10 GLUE & NAIL (4) ROUS 16d @ 16" O.C.

- 2X6 WOOD FRAMED OPENINGS
- PROVIDE 1" EXTRUDED POLYSTYRENE, CLOSED CELL, RIGID FOAM INSULATION ON INTERIOR SIDE (SEE DETAIL)
 - ALL OPENINGS TO HAVE (2) 2X6 JACK STUDS & (1) 2X6 KING STUD, EACH SIDE
- OPENING SIZE
- UP TO 3'-0"
- GLUE & NAIL (2) ROUS 50d @ 16" O.C. 3'-0" TO 3'-0" (3) 2X8 GLUE & NAIL (3) ROUS 50d @ 16" O.C. 5'-0" TO 8'-0" (3) 2X10 GLUE & NAIL (4) ROUS 50d @ 16" O.C.

- BLOCKING:
- J. PROVIDE 2X LATERAL BLOCKING, SAME WIDTH AS STUD CAVITY, BOTH SIDES OF ALL POSTS
- K. PROVIDE 2" NOMINAL FIREBLOCKING & / OR APPROVED MINERAL WOOL OR GLASS FIBER BATTIS OR BLANKETS @ THE FOLLOWING LOCATIONS PER IRC R202.11.1(R202.11.2):
- K.A. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, VERTICALLY @ CEILING & FLOOR LEVEL
 - K.B. HORIZONTALLY @ INTERVALS NOT EXCEEDING 10'
 - K.C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES INCLUDING SOFFITS, DROP & COVE CEILINGS, AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, & WIRES @ CEILING & FLOOR LEVEL

- STAIRS (SEE STAIR/DECK DETAILS FOR ADDITIONAL INFORMATION)
- 2X12 BOX STRINGERS (3" MIN.) EACH SIDE & CENTER/ SET ON SLAB/FLOOR, EQUALLY SPACED
 - 3/4" CLOSED TREAD @ RISERS, 8 1/2" (MAX.) RISER, 9" (MIN.) TREAD

- HANDRAILS & GUARDRAILS SHALL COMPLY W/THE FOLLOWING (TYP. ALL STAIRS & PLATFORMS):
- HANDRAILS SHALL BE 34" (MIN.) & 38" (MAX.) ABOVE THE WALKING SURFACE
 - SHALL BE DESIGNED & CONSTRUCTED TO RESIST A LOAD OF 500lb APPLIED IN ANY DIRECTION @ THE TOP & TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE
 - SHALL BE DESIGNED & CONSTRUCTED TO RESIST A SINGLE CONCENTRATED LOAD OF 200lb APPLIED IN ANY DIRECTION @ ANY POINT ALONG THE TOP & TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE
 - THE LOADING CONDITIONS SHALL NOT BE APPLIED CONCURRENTLY



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GRADE LEVEL & FIRST FLOOR PLANS, NOTES
PLUMBING RISER DIAGRAM

BLOCK 81
LOT 12.01

HILLIARD CONSTRUCTION

new residence for:

289 BAY AVENUE
HIGHLANDS, NEW JERSEY

DATE	REVISION	NUMBER
DRAWN: RCG	SCALE: AS NOTED	
CHECKED: RCG		

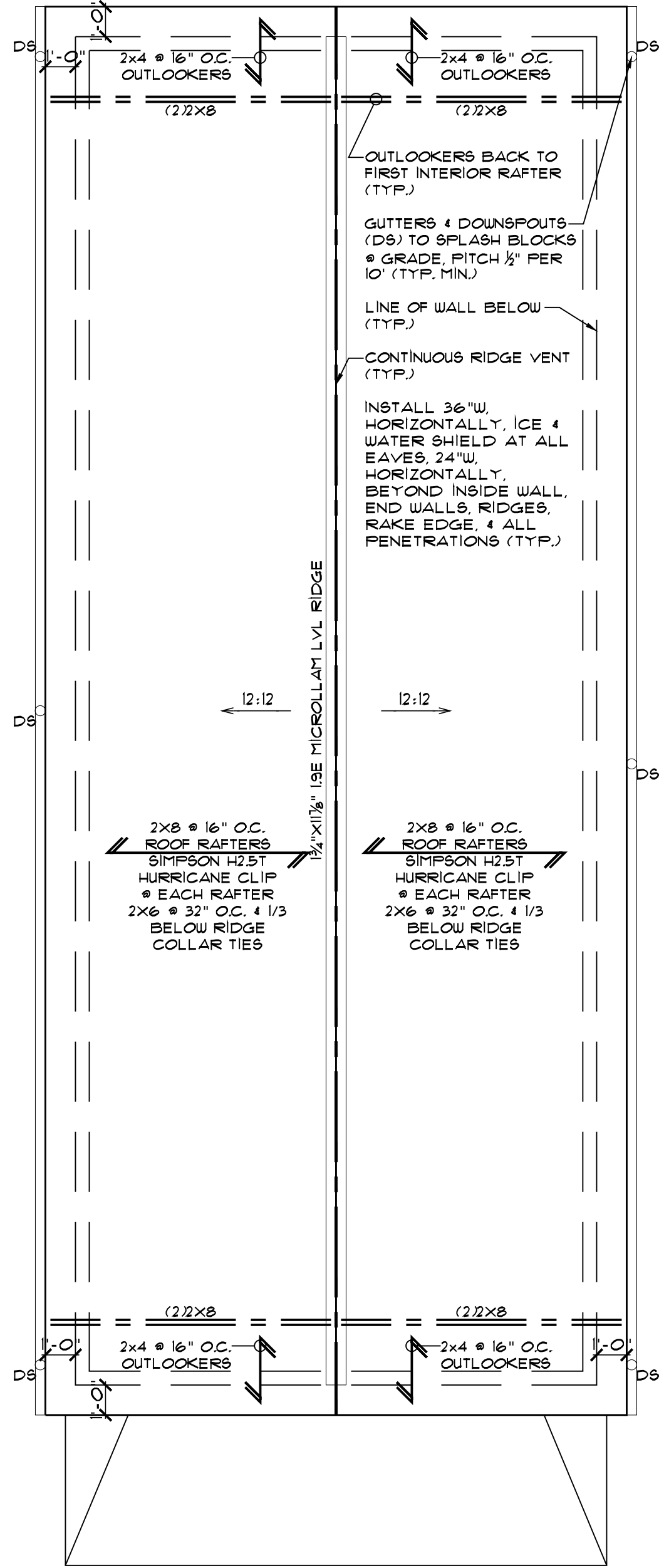
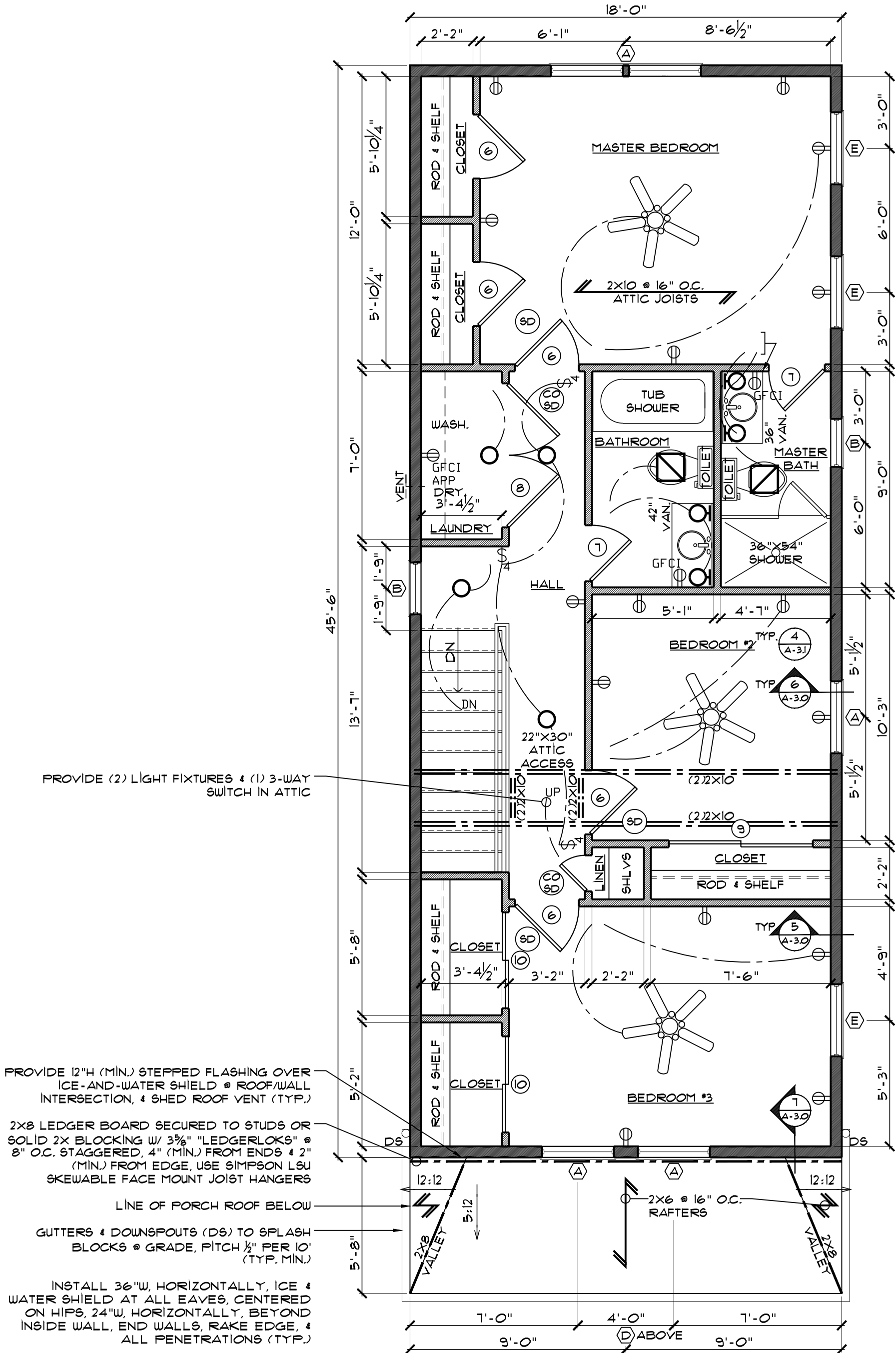
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FINISH SCHEDULE: (OR APPROVED EQUAL) FINAL INTERIOR FINISH SELECTIONS BY OWNER				
	FLOOR	BASE	WALL	CEILING
GRADE LEVEL				
GARAGE	F3	-	E	C1
FOYER	F2	B1	E	C1
FIRST FLOOR				
PORCH	-	-	-	C2
FAMILY ROOM	F1	B1	E	C1
DINING ROOM	F1	B1	E	C1
KITCHEN	F1	B1	E	C1
POWDER ROOM	F2	B1	E	C1
UTILITIES	F2	B1	E	C1
SECOND FLOOR				
MASTER BEDROOM	F1	B1	E	C1
MASTER BATHROOM	F2	B1	E	C1
CLOSET	F1	B1	E	C1
CLOSET	F1	B1	E	C1
BEDROOM #2	F1	B1	E	C1
CLOSET	F1	B1	E	C1
BEDROOM #3	F1	B1	E	C1
CLOSET	F1	B1	E	C1
LAUNDRY	F2	B1	E	C1
BATHROOM	F2	B1	E	C1
CLOSET	F1	B1	E	C1
NOTES:				
FLOOR	F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE			
BASE	B1 - WOOD			
WALL	W1 - TAPED, SPACKLED, SANDED, (1) COAT PRIMER (2) COATS LATEX PAINT, EGGSHELL			
CEILING	C1 - TAPED, SPACKLED, SANDED, (1) COAT PRIMER (2) COATS LATEX PAINT, FLAT FINISH C2 - PVC BEADBOARD			
G. CABINET, COUNTERTOP, APPLIANCE & FIXTURE	STYLES, FINISH & LAYOUT AS DETERMINED BY OWNER (TYPICAL OF KITCHEN, BATHROOMS & LAUNDRY)			
H. FOLLOW MANUFACTURER'S INSTRUCTIONS ON	APPLICATION OF ALL FINISH MATERIALS.			
I. CLEAN SURFACES THOROUGHLY TO REMOVE ALL	DIRT, CHALK, OIL, GREASE, LOOSE PAINT OR OTHER SURFACE DEPOSITS TO SOUND SURFACE, PRIOR TO APPLICATION OF FINISH			
J. PROVIDE ROD, HOOKS & SHELVES WHERE NOTED				

ELECTRICAL:	
A. ELECTRICAL SWITCHES, RECEPTACLES, LIGHTING, ETC. ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNERS ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION	
B. ALL ELECTRIC ON CMU SHALL BE RUN IN EMT	
INTERNET/DATA/TELEPHONE (OWNER LOCATED)	
CABLE TV (OWNER LOCATED)	
SWITCH # 48" AFF. TO TOP	
• PROVIDE (1) (MIN.) WALL SWITCH CONTROLLED LIGHT OR LIGHTING OUTLET IN EACH ROOM	
• PROVIDE (1) (MIN.) INTERIOR WALL SWITCH CONTROLLED EXTERIOR LIGHT # ALL EXTERIOR DOORS	
SWITCH (3-WAY) # 48" AFF. TO TOP	
SWITCH (4-WAY) # 48" AFF. TO TOP	
SWITCH (DIMMER) # 48" AFF. TO TOP	
DUPLEX RECEPTACLE # 16" AFF. TO &	
DUPLEX RECEPTACLE (APP) APPLIANCE HEIGHT	
DUPLEX RECEPTACLE (GFCI) # 48" AFF. TO TOP	
DUPLEX RECEPTACLE (EXT) # 48" AFF. TO TOP	
DUPLEX RECEPTACLE (CNTR) IN COUNTER	
• GROUND-FAULT CIRCUIT INTERRUPTER WITHIN 6' OF SINK EDGE, DISHWASHERS, KITCHEN COUNTERS, BATHROOM, LAUNDRY & ALL EXTERIOR AREAS (PROVIDE WEATHERTIGHT COVER # EXTERIOR)	
• PROVIDE RECEPTACLES SPACED AT 12" O.C. (MAX.) MEASURED HORIZONTALLY # THE FLOOR LINE ALONG ALL WALLS	
WALL MOUNTED LIGHT (OWNER SELECTED)	
CEILING MOUNTED LIGHT SURFACE OR RECESSED (OWNER SELECTED)	
PENDANT (OWNER SELECTED)	
CHANDALIER (OWNER SELECTED)	
BATHROOM MECHANICAL EXHAUST W/LIGHT 20 CFM INTERMITTENT OR 20 CFM CONTINUOUS	
COMBINATION CARBON MONOXIDE / SMOKE DETECTOR (WIRELESS OR HARD-WIRED, INTERCONNECTED, BATTERY BACK-UP)	
SMOKE DETECTOR (WIRELESS OR HARD-WIRED, INTERCONNECTED, BATTERY BACK-UP)	
CEILING FAN W/LIGHTS, MAINTAIN 54" (MIN.) FROM ALL CO/SD DETECTORS (OWNER SELECTED)	



LEGEND	
10" CMU	
2x4 WALL	
2x6 WALL	
1. DIMENSIONS ARE MEASURED TO ACTUAL MATERIAL SIZES, UNLESS OTHERWISE INDICATED	
2. ALL DIMENSIONS TO BE VERIFIED PRIOR TO EXCAVATION & CONSTRUCTION	
3. SEE GENERAL NOTES FOR ADDITIONAL INFO.	
4. SEE SHEET A-3.0 - A-3.2 FOR TYP. DETAILS & FASTENERS	
5. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES OR DEFICIENCIES EXIST.	

DOOR SCHEDULE: (OR APPROVED EQUAL) SUBMIT SHOP DRAWINGS FOR APPROVAL TO OWNER / ARCHITECT PRIOR TO ORDERING	
NO.	1 2 3 4 5 6 7 8 9
UNIT SIZE (WxH)	8'-0"x1'-0" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8"
TYPE	SECTIONAL EXT. ENTRY EXT. ENTRY EXT. GLIDING INT. GARAGE INT. SLIDING INT. SLIDING INT. SLIDING INT. SLIDING INT. SLIDING
WITH STRIP	Y Y Y Y Y N N N N N N N N
NOTES:	
A. SECTIONAL OVERHEAD DOOR	
A.A. SHALL BE TESTED IN ACCORDANCE WITH ANSI/DASMA 108, AND SHALL MEET THE ACCEPTANCE CRITERIA OF SAME, PER IRC R608.4	
A.B. PANEL STYLE SELECTED BY OWNER	
A.C. FULL PERIMETER WEATHERSTRIPPING	
B. EAGLE BY ANDERSEN ASCENT HINGED ENTRY DOOR	
B.A. FULL PERIMETER WEATHERSTRIPPING	
B.B. PANEL STYLE SELECTED BY OWNER	
C. EAGLE BY ANDERSEN ASCENT HINGED ENTRY DOOR	
C.V12' SIDELIGHTS, EACH SIDE	
C.A. FULL PERIMETER WEATHERSTRIPPING	
C.B. PANEL STYLE SELECTED BY OWNER	
D. ANDERSEN FRENCHWOOD SLIDING PATIO DOOR	
D.A. FULL PERIMETER WEATHERSTRIPPING	
D.B. LOW E4 TEMPERED GLASS	
D.C. CONCEALED, RETRACTABLE INSECT SCREENS	
E. INTERIOR GARAGE DOOR	
E.A. FULL PERIMETER WEATHERSTRIPPING	
E.B. 1 3/8" SOLID-CORE WOOD OR 1 3/8" SOLID OR HONEYCOMB STEEL	
F. PROVIDE EXTENSION JAMBS, AS REQUIRED	
G. DOOR STYLE & TRIM AS SELECTED BY OWNER	
H. EXTERIOR & INTERIOR DOOR HARDWARE & KEYING AS SELECTED BY OWNER	
I. CENTER DOORS ON WALLS, WHERE POSSIBLE, OR 3" FROM PERPENDICULAR WALLS	
J. SEE PLANS FOR SWING & DOOR HAND	
K. INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THESE DRAWINGS, SUPERCEDED ONLY BY THE MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS.	

WINDOW SCHEDULE: (OR APPROVED EQUAL) SUBMIT SHOP DRAWINGS FOR APPROVAL TO OWNER / ARCHITECT PRIOR TO ORDERING	
NO.	A B C D E F
UNIT SIZE (WxH)	2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2"
TYPE	DOUBLE HUNG DOUBLE HUNG CASERMENT CIRCLE AWNING AWNING
NOTES:	
A. ALL HEADS TO ALIGN W/ DOOR HEADS	
B. PROVIDE EXTENSION JAMBS, AS REQUIRED	
C. ANDERSEN 400 SERIES, TILT-WASH DOUBLE HUNG, CASERMENT AWNING & CIRCLE WINDOW	
C.A. FULL PERIMETER WEATHERSTRIPPING	
C.B. LOW E4 GLASS	
C.C. TRUSCEN FULL INSECT SCREEN	
C.D. SEE ELEVATIONS FOR GRILLE PATTERN & LOCATIONS	
C. 5.7 SF. CLEAR OPENING AREA 20" CLEAR OPENING WIDTH & 24" CLEAR OPENING HEIGHT	
D. OWNER SELECTED HARDWARE & FINISH	
E. INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THESE DRAWINGS, SUPERCEDED ONLY BY THE MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS.	



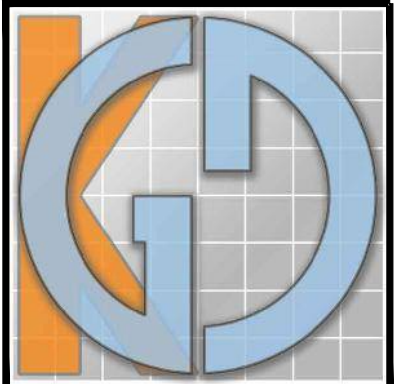
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SECOND FLOOR & ROOF PLANS, SCHEDULES

new residence for:
HILLIARD CONSTRUCTION
BLOCK 81
LOT 12.01
289 BAY AVENUE
HIGHLANDS, NEW JERSEY

DATE	REVISION	NUMBER	NORTH
DRAWN: RCG	SCALE: AS NOTED		
CHECKED: RCG			

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A-1.1
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ELEVATIONS

HILLIARD CONSTRUCTION

new residence for:

BLOCK 81
LOT 12.01

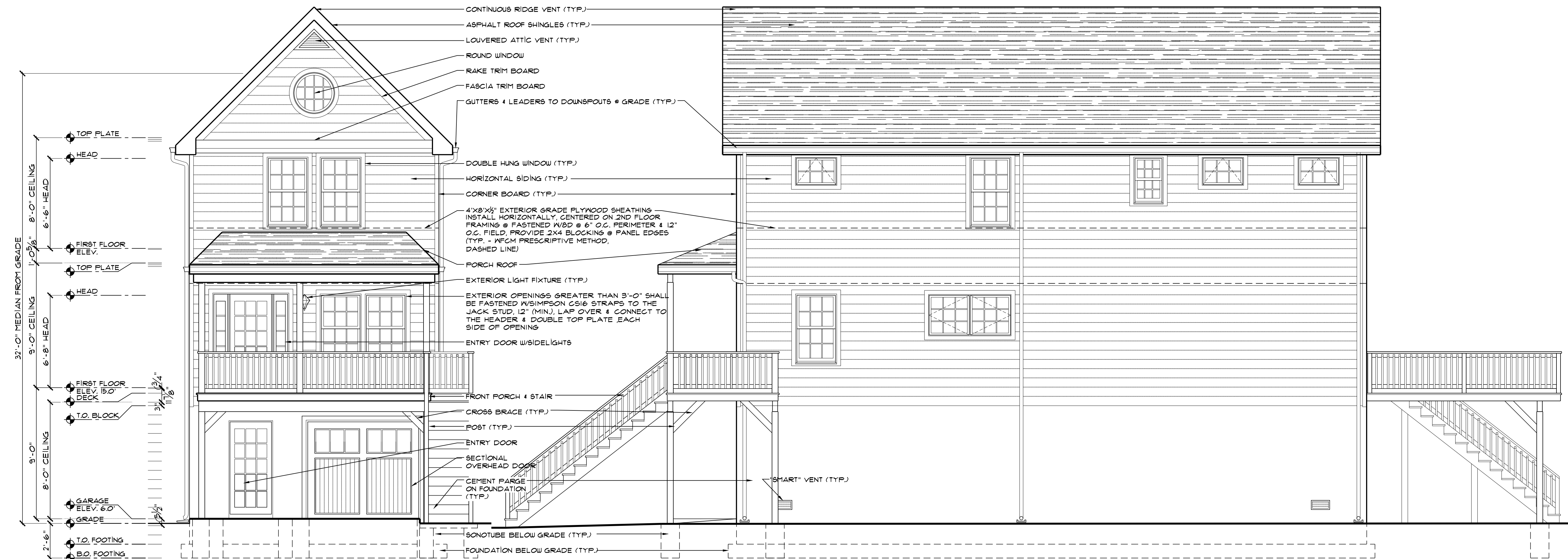
289 BAY AVENUE
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DATE	REVISION	NUMBER	NORTH
DRAWN: RCG CHECKED: RCG	SCALE: AS NOTED		

PERMIT SET

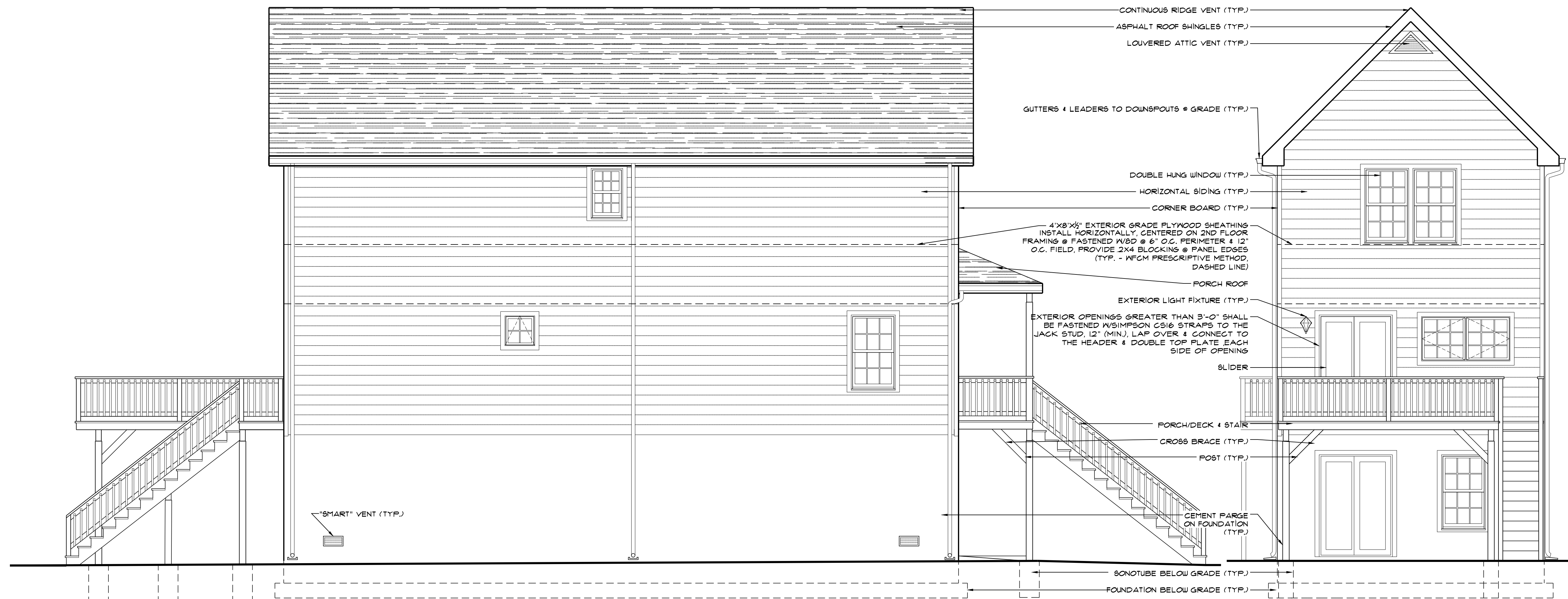
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10.28.19 19-71



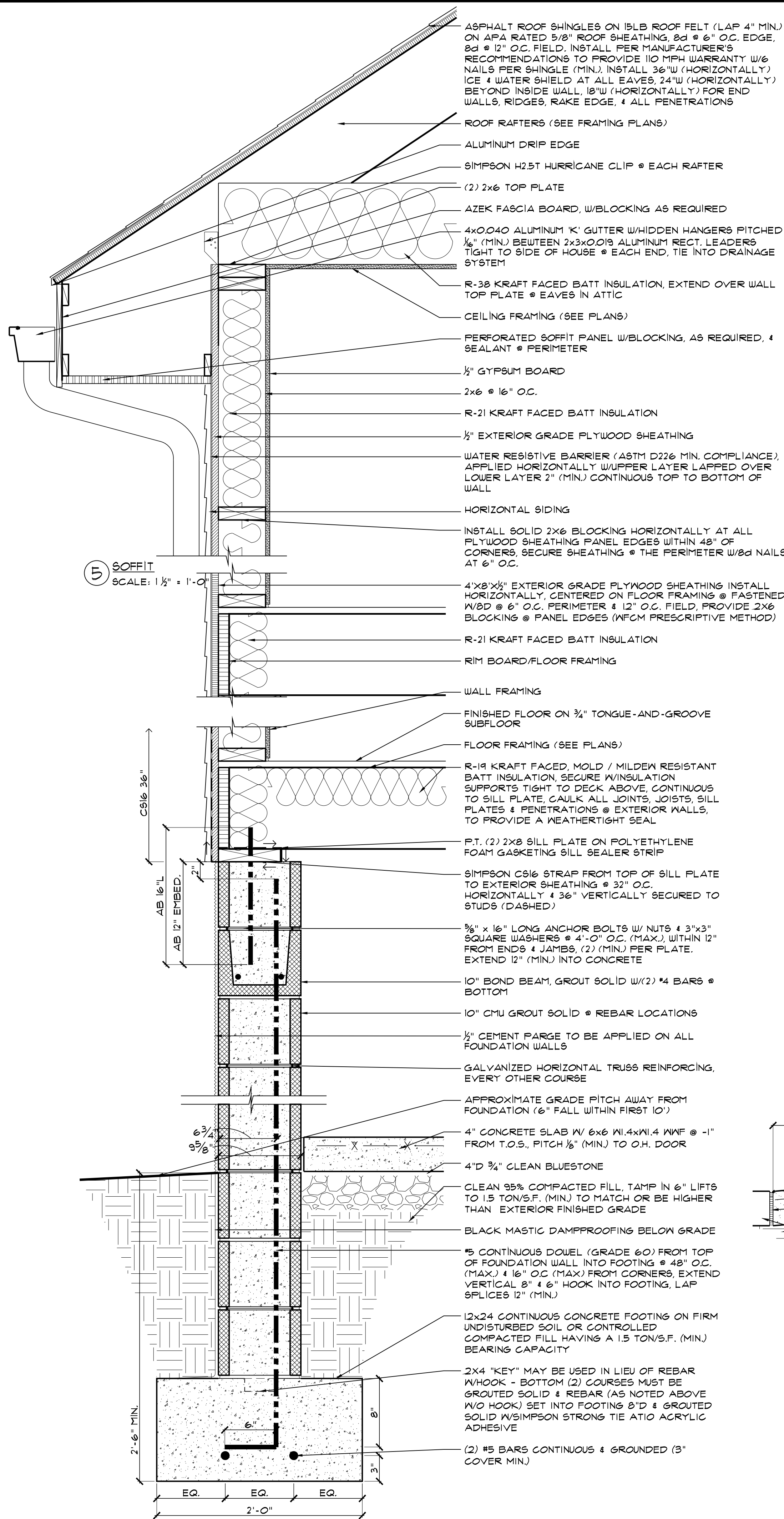
1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"

2 RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

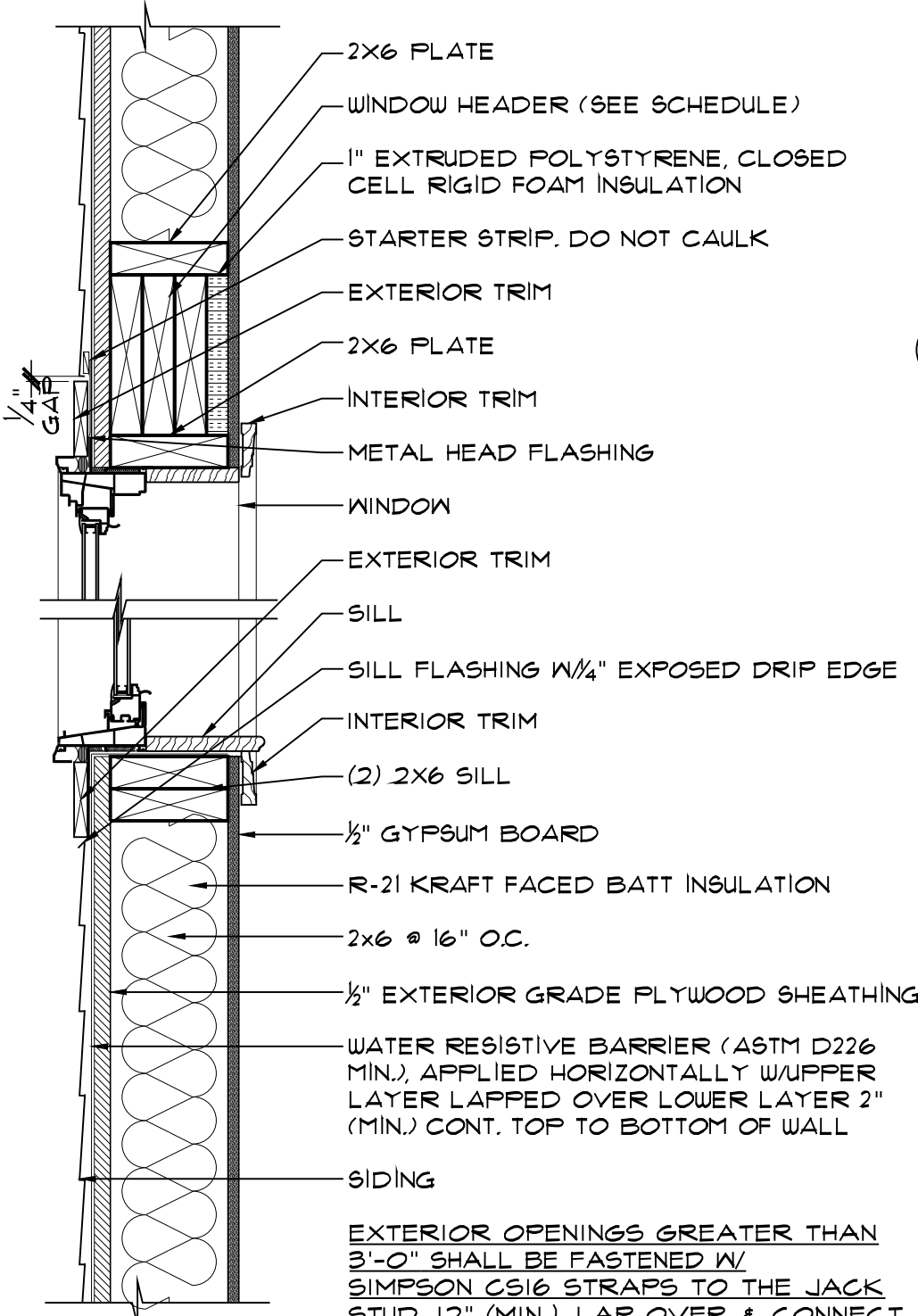


3 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

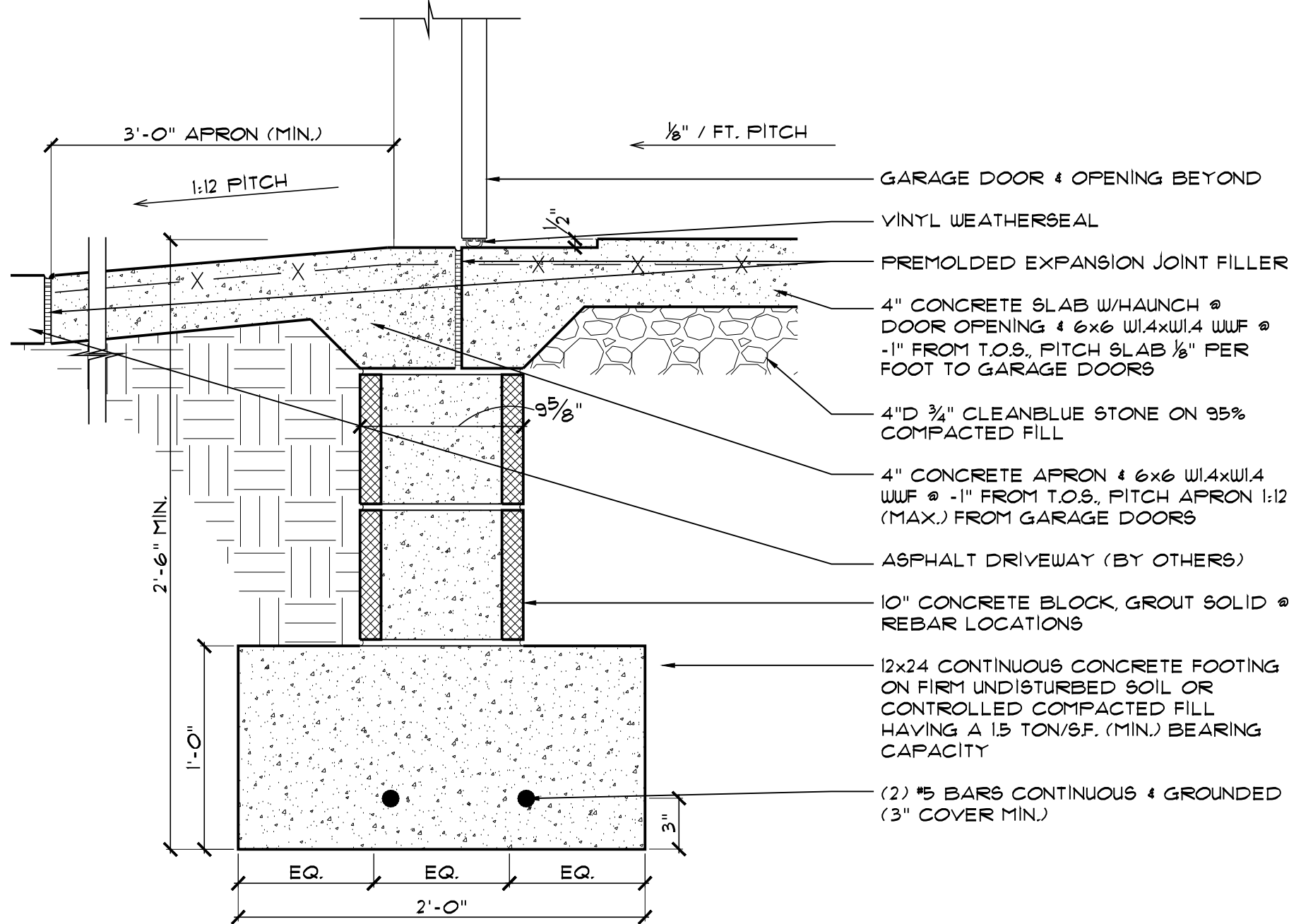
4 REAR ELEVATION
SCALE: 1/4" = 1'-0"



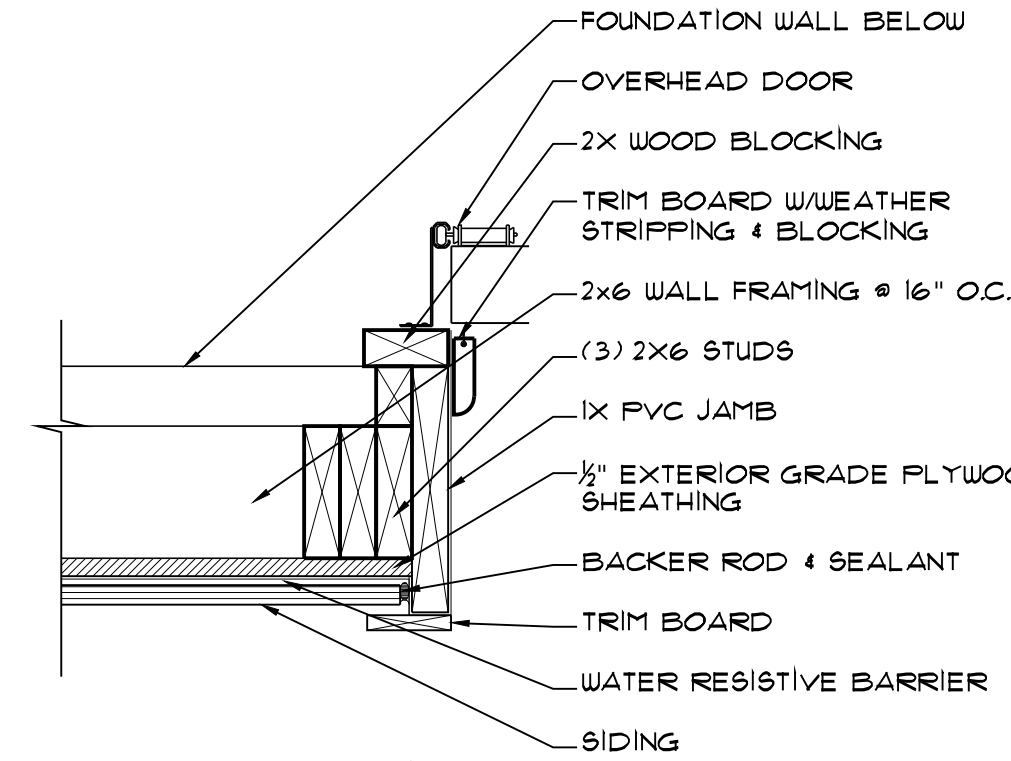
① FOUNDATION
SCALE: 1/2" = 1'-0"



⑥ WINDOW HEAD & JAMB
SCALE: 1/2" = 1'-0"
• SEE WINDOW INSTALLATION DETAILS FOR MORE INFO.

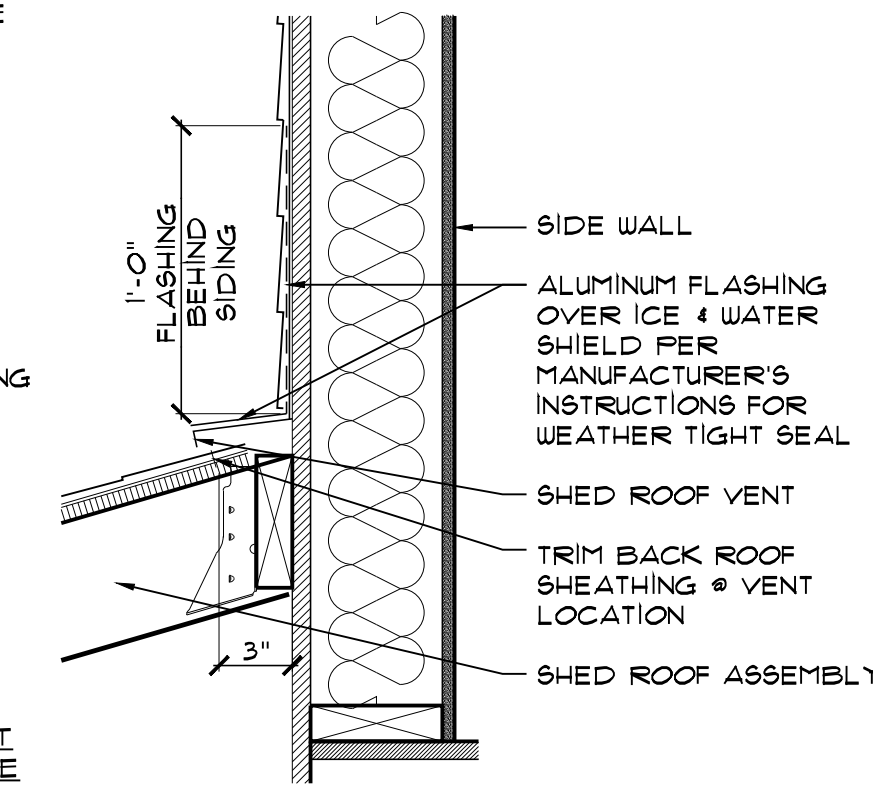


② FOUNDATION @ GARAGE OVERHEAD DOOR
SCALE: 1/2" = 1'-0"

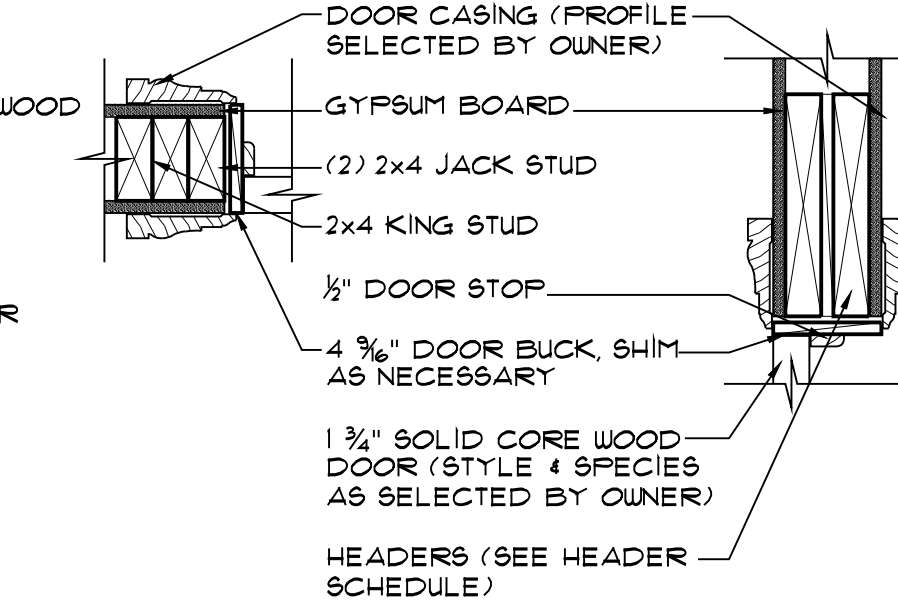


SHALL BE FASTENED W/ SIMPSON CS16 STRAPS TO THE JACK STUD, 12" (MIN.) LAP OVER & CONNECT TO THE HEADER & DOUBLE TOP PLATE EACH SIDE OF OPENING

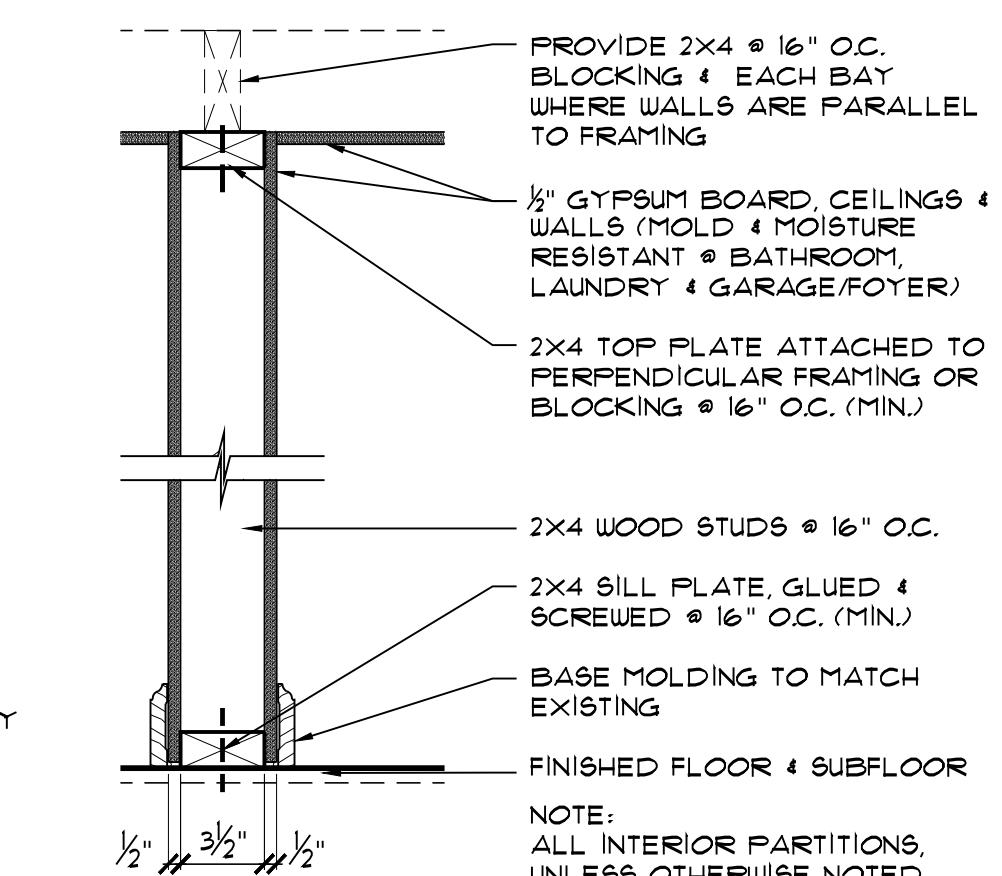
⑩ OVERHEAD DOOR JAMB
SCALE: 1/2" = 1'-0"



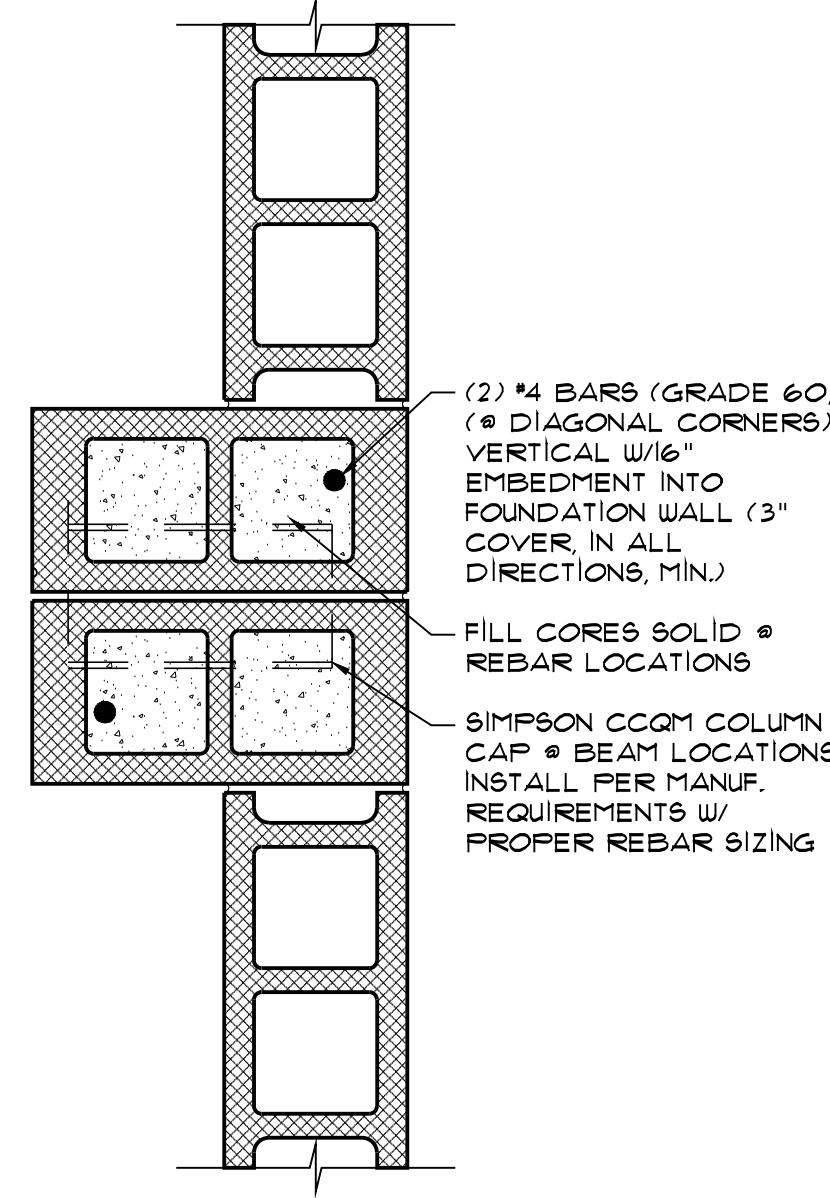
⑦ SHED ROOF VENT
SCALE: 1/2" = 1'-0"



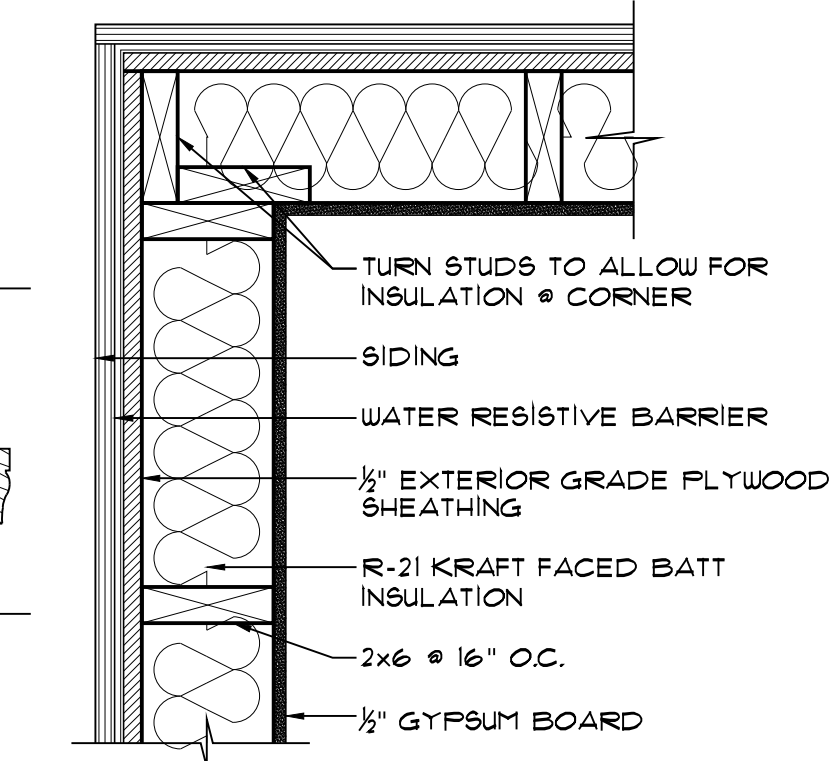
⑪ DOOR HEAD & JAMB
SCALE: 1/2" = 1'-0"



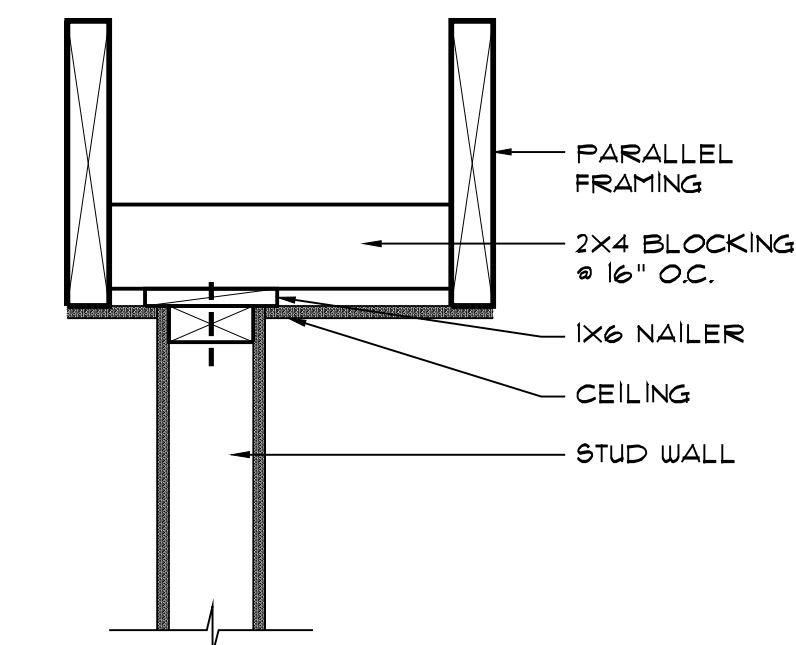
⑧ INTERIOR PARTITION
SCALE: 1/2" = 1'-0"



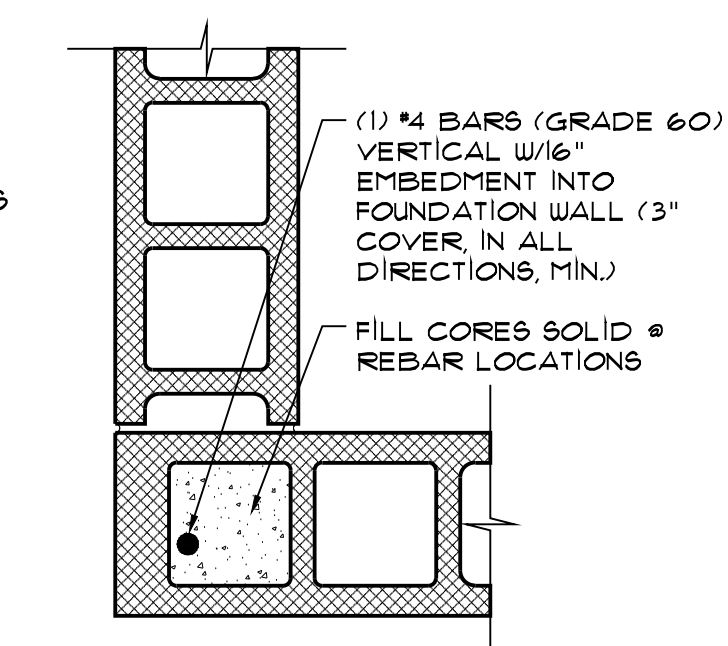
③ PLAN DETAIL @ FILASTER
SCALE: N.T.S.



⑫ 3-STUD EXTERIOR CORNER
SCALE: 1/2" = 1'-0"

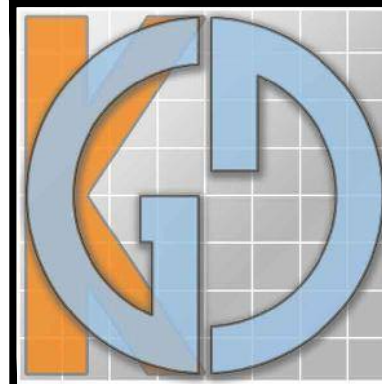


⑨ BLOCKING
SCALE: 1/2" = 1'-0"



④ PLAN DETAIL @ CORNER
SCALE: N.T.S.

- SEE SHEETS A-10 & A-11 FOR TYPICAL SECTION MARKS
- SEE GENERAL NOTES & SPECIFICATIONS, FASTENING SCHEDULE FOR ADDITIONAL INFO.
- THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES OR DEFICIENCIES EXIST.



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DETAILS

HILLIARD CONSTRUCTION

new residence for:

BLOCK 81
LOT 12.01

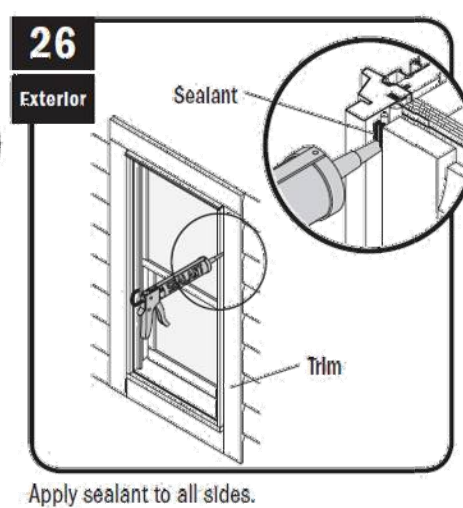
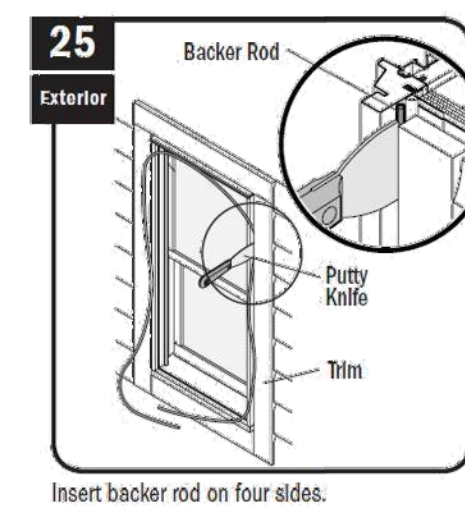
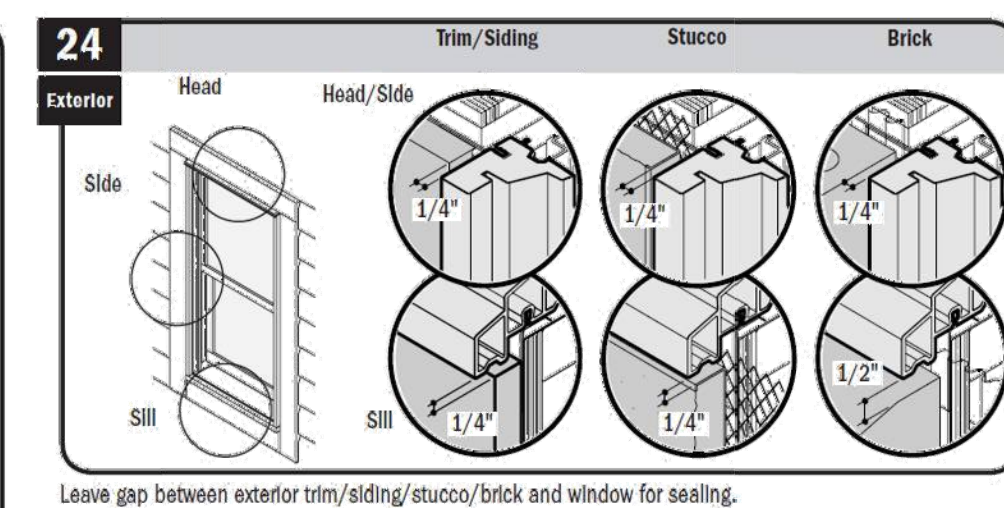
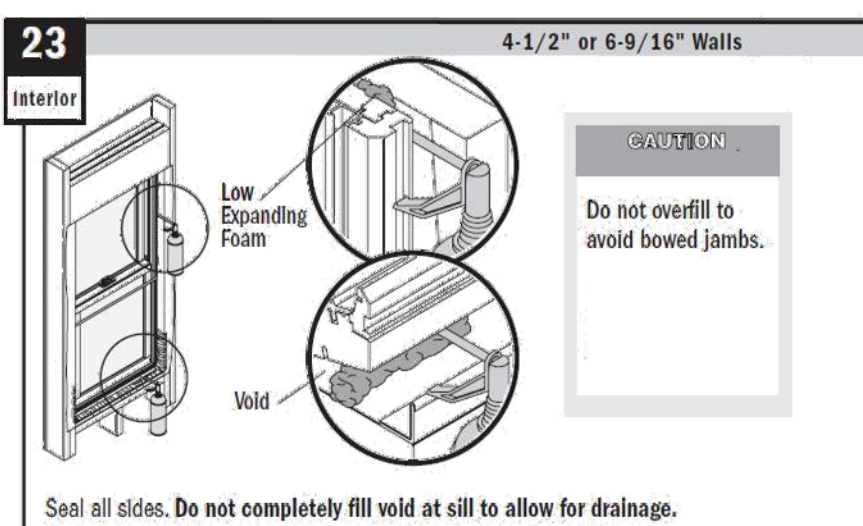
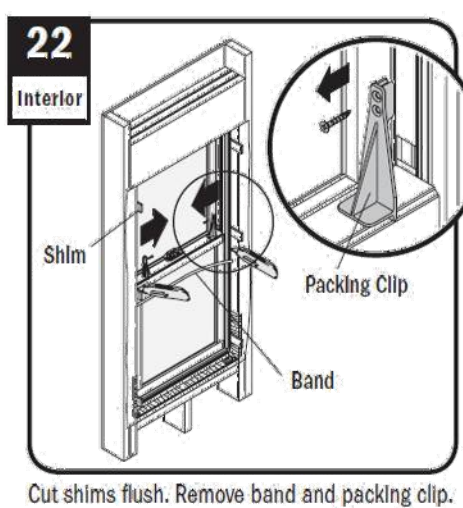
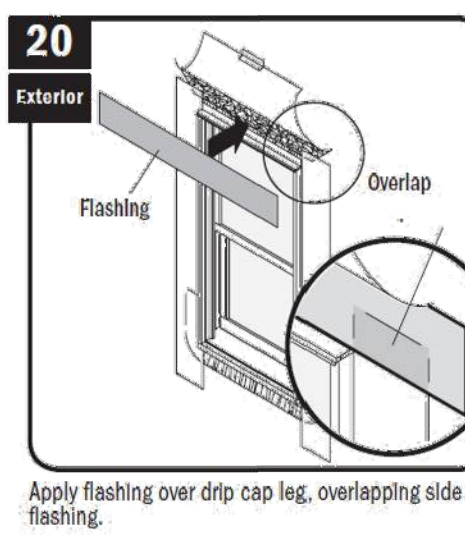
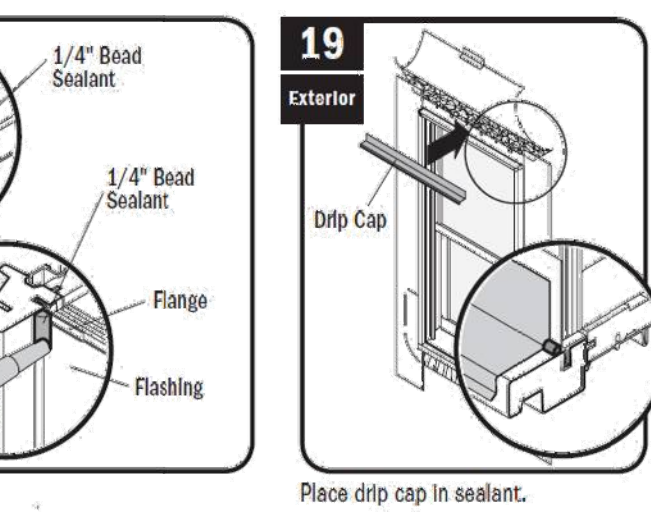
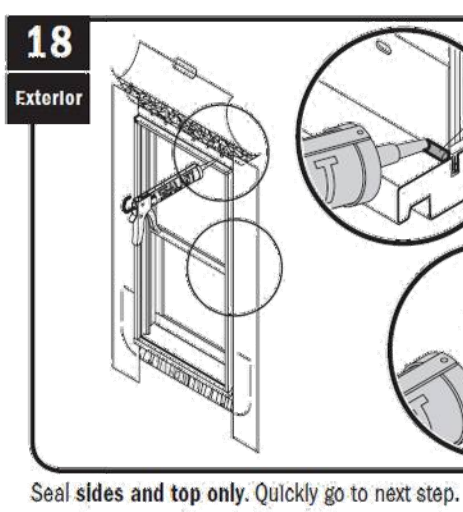
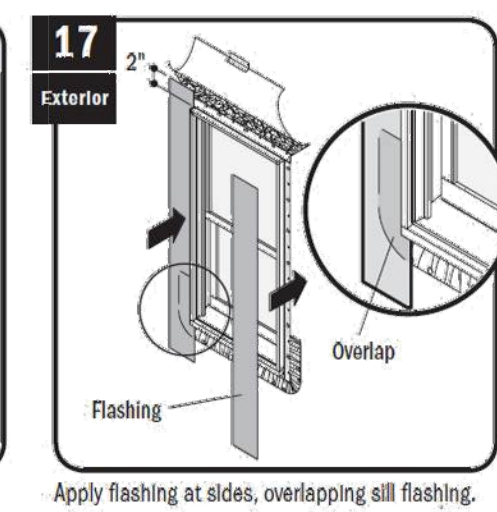
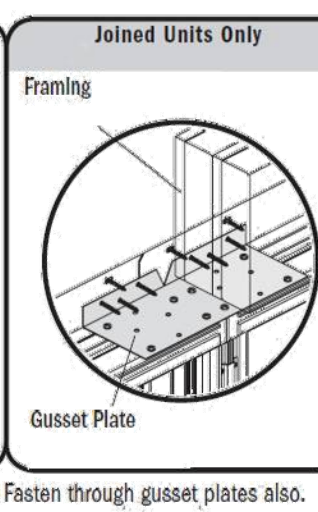
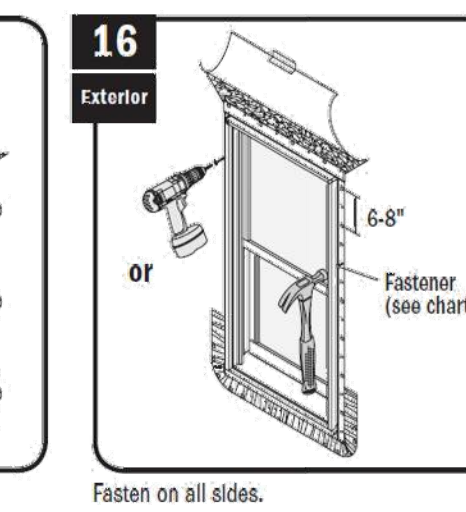
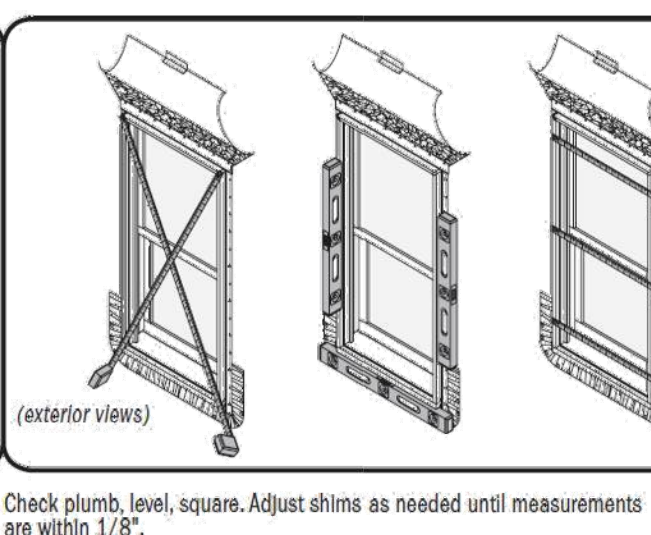
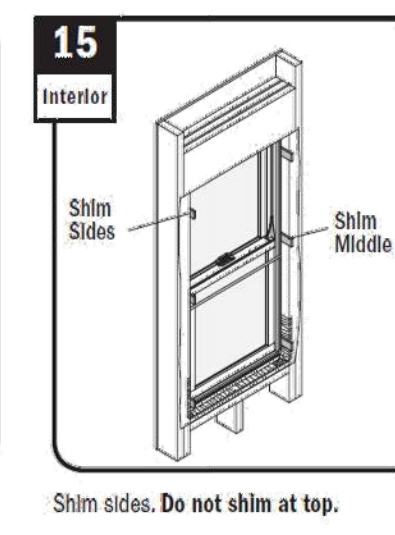
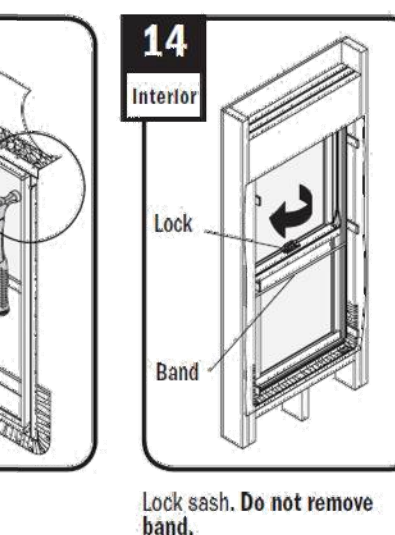
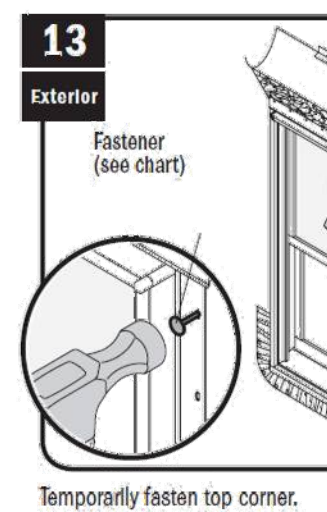
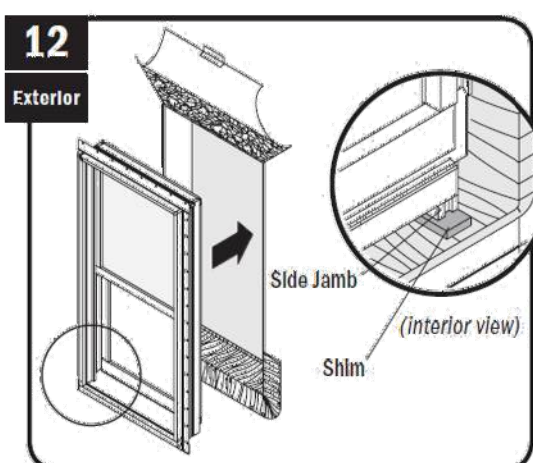
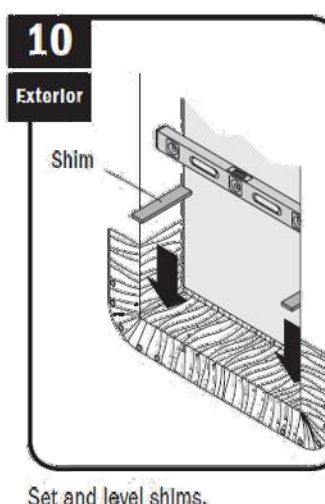
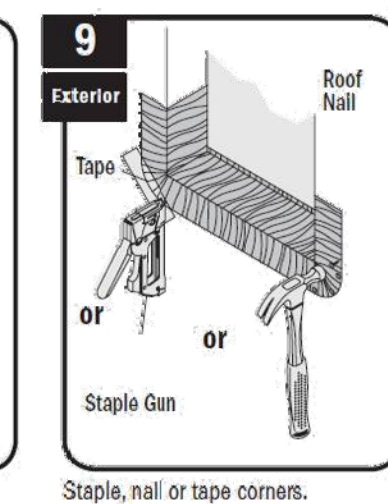
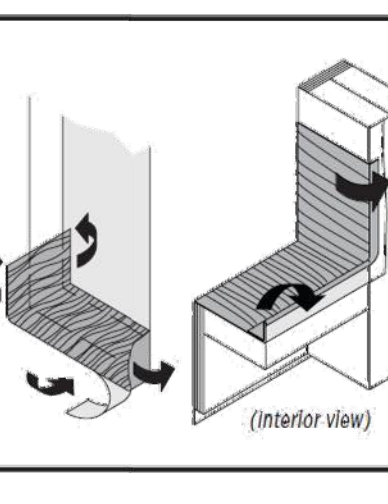
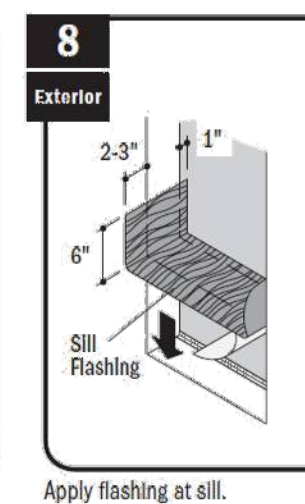
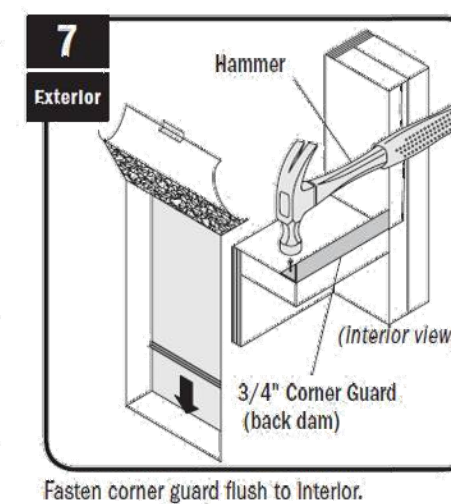
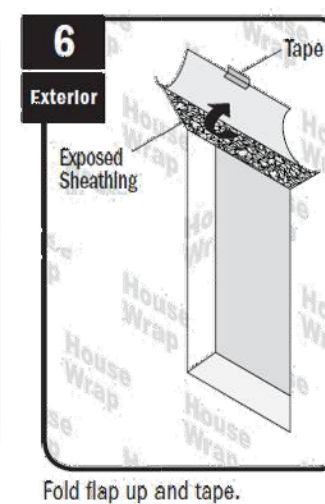
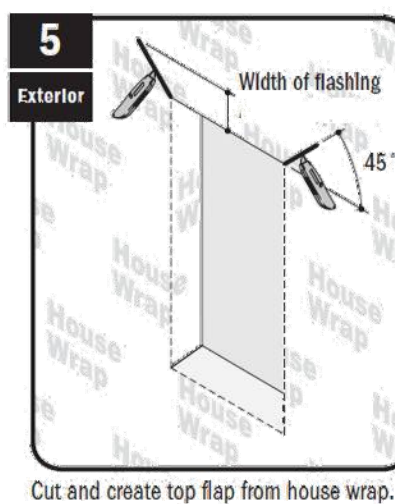
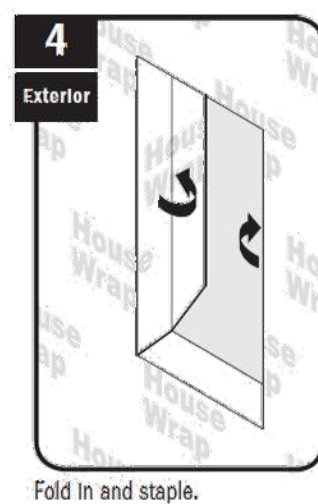
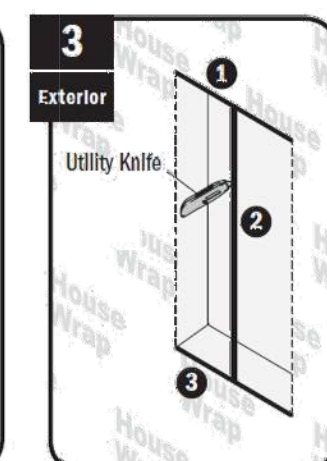
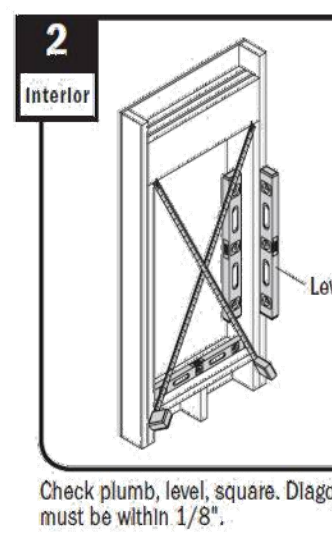
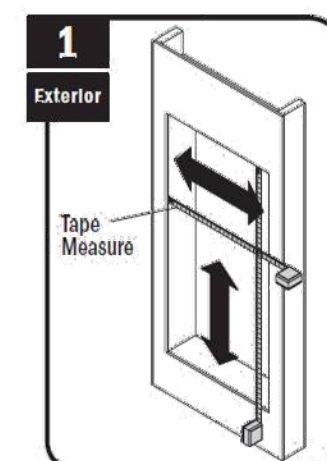
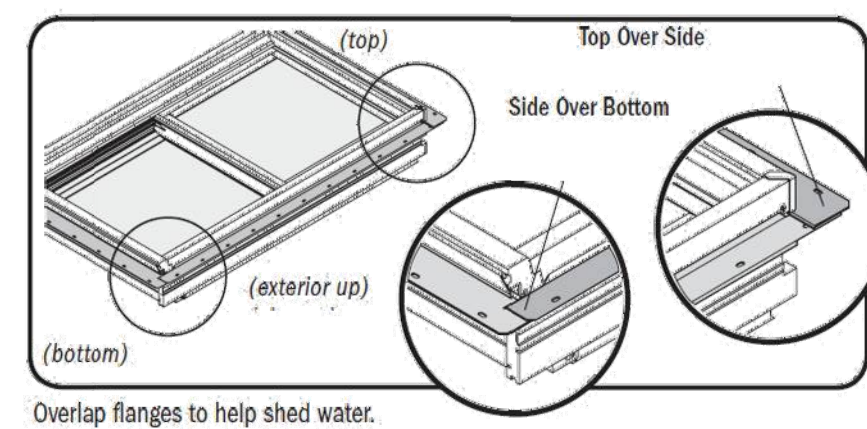
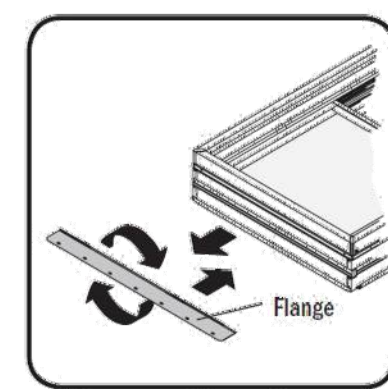
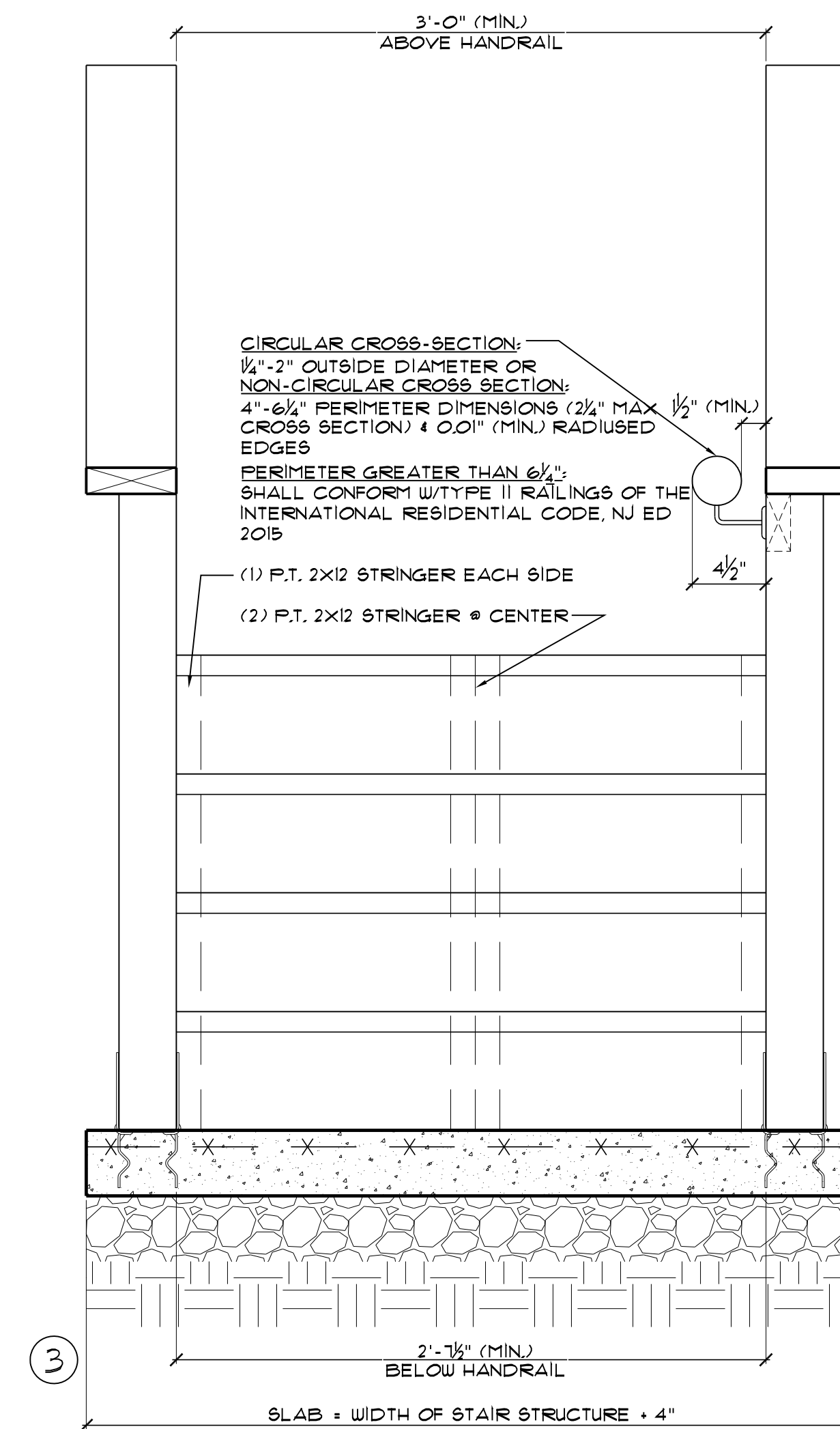
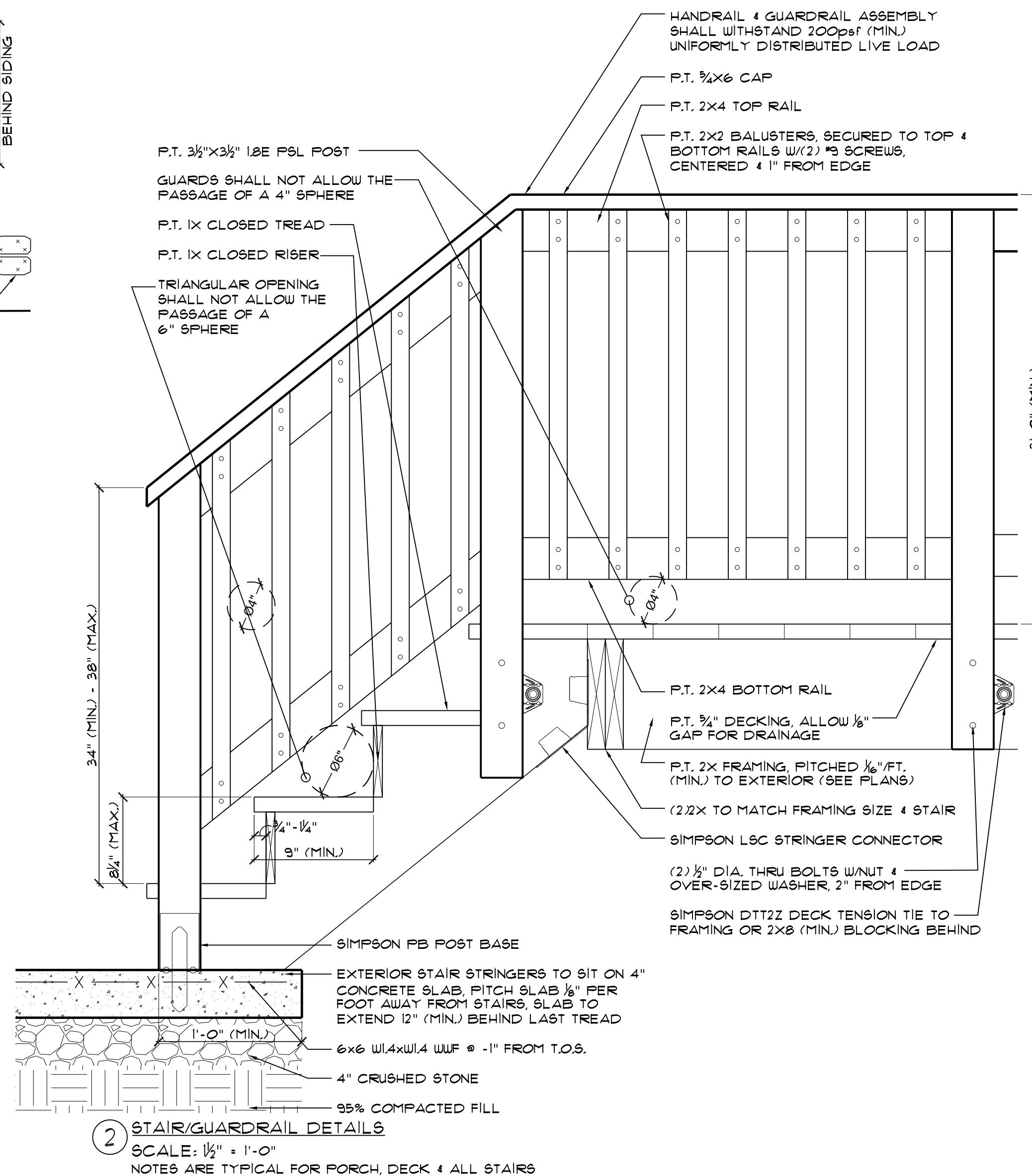
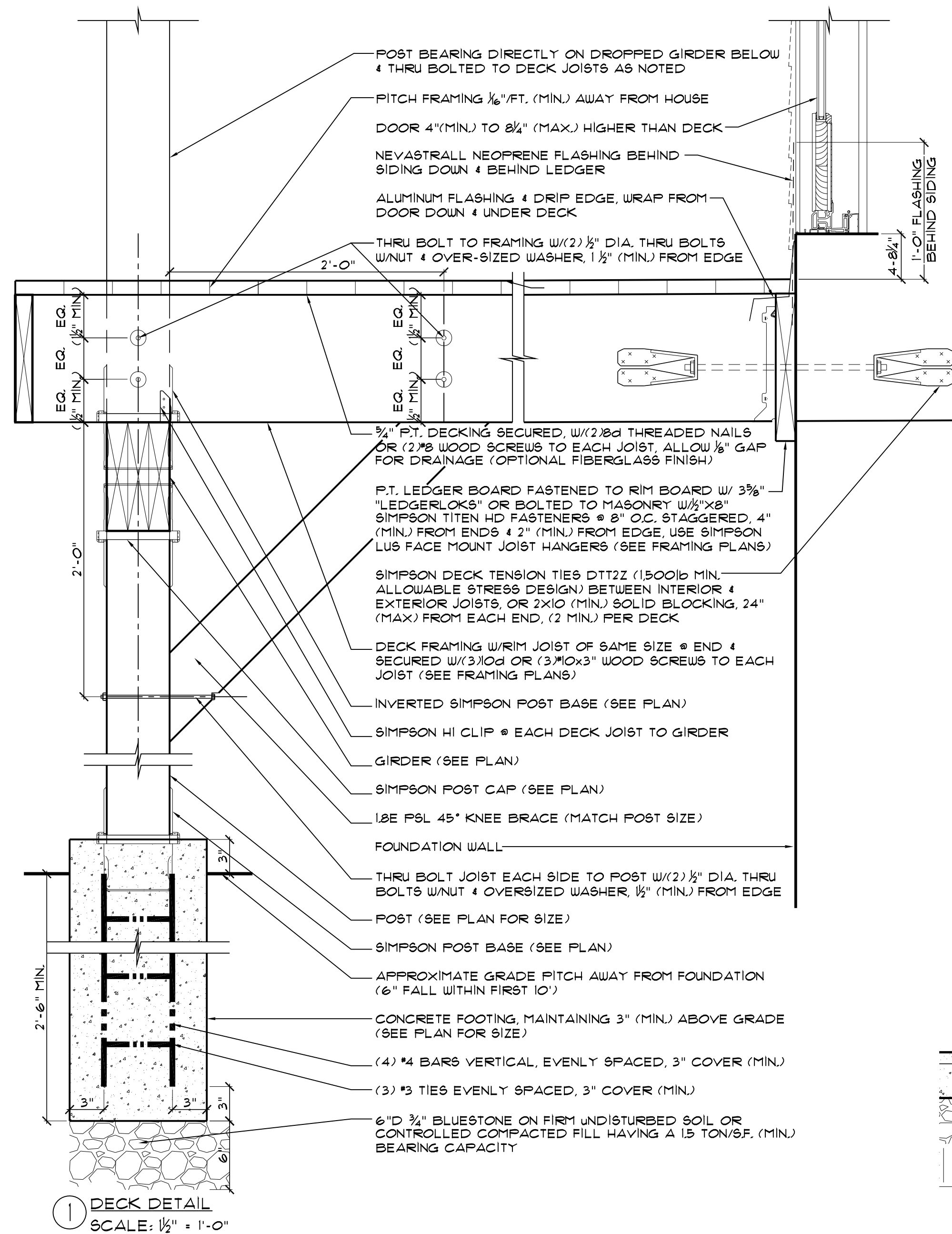
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DRAWN: RCG	SCALE: AS NOTED		
CHECKED: RCG			

PERMIT SET

A-3.0

10.28.19 19-71



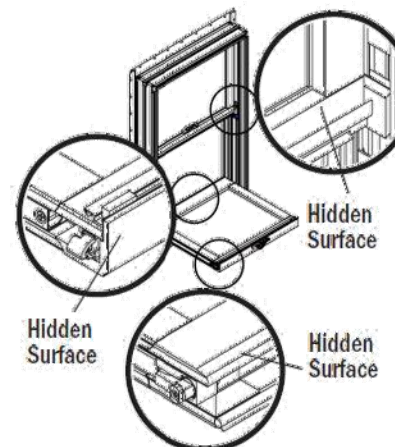
Finishing

CAUTION

Finish wood surfaces immediately after installation. Unfinished wood will deteriorate, discolor, and/or may bow and split.

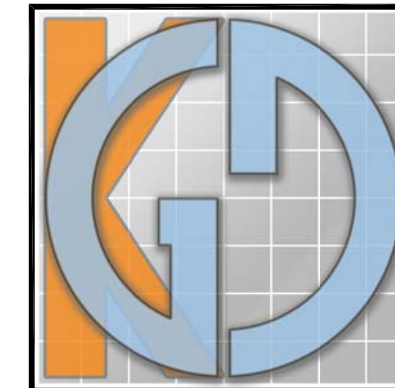
Do not stain or paint weatherstrip, vinyl, glass or hardware. Product damage may occur.

- ▶ Apply interior casing and/or stool to complete installation.
 - ▶ Film is not a substitute for masking.
 - ▶ **Read and follow finishing product instructions and warnings on finish material.**
- 



APPROVED FASTENER CHART (select one)					
Fastener	Min Shank	Min Head	Min Length	Type of Steel	Spacing
Roofing Nail	11 ga.	5/16"	1-3/4"	galvanized, zinc plated, ceramic coated, stainless	6-8" or every other hole
Deck Screw	#6	5/16"	1-5/8"		


④ WINDOW INSTALLATION DETAILS
SCALE: $\frac{1}{2}" = 1'-0"$



DETAILS

new residence for:
HILLIARD CONSTRUCTION

289 BAY AVENUE
HIGHLANDS, NEW JERSEY

DATE	REVISION	NUMBER
	SCALE: AS NOTED	
	DRAWN: RCG CHECKED: RCG	

FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8d BOX (2 1/2" X 0.113")OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	TOE NAIL
2	CEILING JOISTS TO TOP PLATE	4-8d BOX (2 1/2" X 0.113")OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	PER JOIST, TOE NAIL
3	CEILING JOINST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITION [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)]	4-10d BOX (3" X 0.128"); OR 3-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS	FACE NAIL
4	CEILING JOINST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)]	TABLE R802.5.1(9)	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4" X 20 GA. RIDGE STRAP TO RAFTER	4-10d BOX (3" X 0.128"); OR 3-10d COMMON (3" X 0.148"); OR 4-3" X 0.131" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-10d COMMON NAILS (3" X 0.148"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	2 TOE NAILS ON ONE SIDE AND ONE TOE ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16d (3 1/2" X 0.135"); OR 3-10d COMMON NAILS (3 1/2" X 0.148"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	TOE NAIL
		3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	END NAIL
WALL			
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162")	24" O.C. FACE NAIL
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	16" O.C. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS	12" O.C. FACE NAIL
		16d COMMON (3 1/2" X 0.162")	16" O.C. FACE NAIL
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135")	16" O.C. EACH EDGE FACE NAIL 12" O.C. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8d BOX (2 1/2" X 0.113"); OR 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128")	TOE NAIL
12	TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" X 0.162") 10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	16" O.C. FACE NAIL 12" O.C. FACE NAIL
13	DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₁ WITH SEISMIC BRACED WALL LINE SPACING < 25'	8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
	DOUBLE TOP PLATE SPLICE FOR SDCs D ₂ , D ₃ , OR D ₄ ; AND BRACED WALL LINE SPACING ≤ 25'	12-16d BOX (3 1/2" X 0.135")	
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS	16" O.C. FACE NAIL 12" O.C. FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS	3 EACH 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8d BOX (2 1/2" X 0.113")OR 3-16d BOX (3 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	TOE NAIL
		3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 3-3" X 0.131" NAILS	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2 STAPLES 1 3/4"	FACE NAIL
19	1" X 6" SHEATHING TO EACH BEARING	3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	FACE NAIL
20	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d BOX (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	FACE NAIL
		WIDER THAN 1" X 8" 4-8d BOX (2 1/2" X 0.113")OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 4 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	

FASTENING SCHEDULE				
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING AND LOCATION	
FLOOR				
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8d BOX (2 1/2" X 0.113");OR 3-8d BOX (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	TOE NAIL	
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d BOX (2 1/2" X 0.113") 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	4" O.C. TOE NAIL 6" O.C. TOE NAIL	
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	FACE NAIL	
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162")	BLIND AND FACE NAIL	
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162")	AT EACH BEARING, FACE NAIL	
26	BAND OR RIM JOIST TO JOIST	3-16d BOX NAILS (3 1/2" X 0.162"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS; OR 4-3" X 14 GA., STAPLES, 7/16" CROWN	END NAIL	
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20d COMMON (4" X 0.192"); OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED.	
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS AND: 2-20d COMMON (4" X 0.192"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES	
			FACE NAIL AT ENDS AND AT EACH SPLICE	
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16d BOX (3 1/2" X 0.135"); OR 3-16d COMMON (3 1/2" X 0.162"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL	
29	BRIDGING TO JOIST	2-10d (3" X 0.128")	EACH END, TOE NAIL	
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS _{a,b,c}	SPACING OF FASTENERS	
			EDGES (INCHES) ^h	INTERMEDIATE SUPPORTS ^{c,e} (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLE BOARD WALL SHEATHING TO FRAMING. [SEE TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL				
EXTERIOR WALL SHEATHING TO WALL FRAMING				
30	3/8" - 1/2"	6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF)	6	12 ^f
31	19/32" - 1"	8d COMMON (2 1/2" X 0.131")	6	12 ^f
32	1 1/8" - 1 1/4"	10d COMMON (3" X 0.148") NAIL; OR	6	12
		8d (2 1/2" X 0.131") DEFORMED NAIL		
OTHER WALL SHEATHING ^g				
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG	3	6
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG	3	6
35	1/2" GYPSUM SHEATHING ^o	1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S	7	7
36	5/8" GYPSUM SHEATHING ^o	1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S	7	7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING				
37	3/4" AND LESS	6d DEFORMED (2" X 0.120") NAIL; OR 8d COMMON (2 1/2" X 0.131") NAIL	6	12
38	7/8" - 1"	8d COMMON (2 1/2" X 0.131") NAIL; OR 8d DEFORMED (2 1/2" X 0.120") NAIL	6	12
39	1 1/8" - 1 1/4"	10d COMMON (3" X 0.148") NAIL; OR 8d DEFORMED (2 1/2" X 0.120") NAIL	6	12

FOR S1: 1 INCH = 25.4MM, 1 FT = 304.8MM, 1 MILE PER HOUR = 0.447 M/S; KSI = 6.897MPa

- a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 or less
- b. Staples are 16gage wire and have a minimum 7/16 inch on diameter crown width
- c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.
- e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- f. Where the ultimate design wind speed is 130 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable and walls' and 4 inches on center to gable end wall framing.
- g. Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208
- h. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter she is supported by framing members or solid blocking.
- i. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.



GRAMMER DESIGNS, LLC
A Limited Liability Company
-KGD Celebrating 50-Years of Design-
241 Maple Avenue
Red Bank, NJ 07071
732-842-8021
DesignStudio@kgdnc.com
NJ License No. 17604
Ron Grammer, AIA/NJC-HRB, LEED-AP

FASTENING SCHEDULE

new residence for:
HILLIARD CONSTRUCTION

BLOCK 81
LOT 12.01

289 BAY AVENUE
HIGHLANDS, NEW JERSEY

REVISION		NUMBER	NORTH
DATE	SCALE: AS NOTED		
DRAWN: RCG			
CHECKED: RCG			

PERMIT SET

A-3.2

10.28.19

19-71

SHIMPO

1. LUMBER SHALL COMPLY WITH AMERICAN SOFTWARE LUMBER STANDARD, PS 20 (US DEPT COMMISSION) S4S, 19% MOISTURE AT TIME OF DRESSING. STRUCTURAL LUMBER AND FASTENERS SHALL BE IDEALLY ASSEMBLED TO SAFELY SUSTAIN ALL IMPOSED LOADS. ALL LUMBER USED FOR LOAD SUPPORTING PURPOSES SHALL BE IDENTIFIED BY THE GRADE MARK OF AN APPROVED LUMBER GRADING INSPECTION AGENCY.

2. INSTALL PRESSURE TREATED LUMBER WHEN IN CONTACT WITH CONCRETE, MASONRY, EXTERIOR OR GROUND. PRESERVATIVE TREATED BY PRESSURE PROCESS: ALPHA C2 (LUMBER) AND ALPHA C3 (PLYWOOD), EXCEPT THAT LUMBER THAT IS NOT IN CONTACT WITH THE GROUND AND IS CONTINUOUSLY PROTECTED FROM WEATHER SHALL BE TREATED ACCORDING TO ALPHA C32 WITH INCREASING BORDON (SBR) WOOD INDICATED ON DRAWINGS AS TREATED. SHALL BE CCA PRESERVATIVE TREATED DOUGLAS FIR, 2 (MINIMUM) WITH A RETENTION LEVEL OF 0.40 LBS/CUBIC FT. (RATED FOR GROUND CONTACT) AND KILN DRIED AFTER TREATMENT (KDAT). ALL CONNECTORS AND FASTENERS SHALL BE HOT DIPPED GALVANIZED.

3. ALL LUMBER SIZES SPECIFIED AND INDICATED ON THE DRAWINGS ARE NOMINAL.

4. STRUCTURAL FRAMING SHALL BE 2" HEM FIR (MINIMUM) W/ A MINIMUM FIBER IN BENDING STRESS, MINIMUM FIBER STRESS AND MINIMUM MODULES OF ELASTICITY AS REQUIRED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION DESIGN VALUES FOR WOOD CONSTRUCTION.

5. ALL PLYWOOD SHALL BE AMERICAN PLYWOOD ASSOC. (APA) RATED OF THE TYPE AND FOR THE SPANS INDICATED ON THE DRAWINGS.

6. NO STRUCTURAL FRAMING SHALL BE DRILLED, CUT OUT OR NOTCHED UNLESS APPROVED BY THE ARCHITECT. DRILLING OF SMALL DIAMETER HOLES THROUGH STUDS OR PLATES FOR ELECTRICAL WIRING SHALL BE THE EXCEPTION.

FINISH CARPENTRY

1. THE ENDS OF ALL WOOD BEAMS OR JOISTS RESTING ON A GIRDER SHALL BEAR NOT LESS THAN 3" OR SHALL BE SUPPORTED BY APPROVED METAL HANGERS, BEAMS OR JOISTS FRAMING FROM OPPOSITE END. SHALL BE TAKEN ON JOIST END AND BE NAIL TO GIRDER WHEN FRAMED END TO END. THE END SHALL BE SECURED BY METAL TIES OR STRAPS. PROVIDE (2) 2X4 SUPPORT BELOW BOTH ENDS OF ALL DOOR WINDOW HEADERS 4 SHALL BEAR NOT LESS THAN 3"

2. BEARING WALLS 4 POSTS SHALL BE CONSTRUCTED IN SUCH A MANNER TO PROVIDE ADEQUATE SUPPORT FOR ALL MATERIALS USED TO ENCLOSE THE BUILDING 4 PROVIDE FOR THE TRANSFER OF ALL LATERAL LOADS TO THE FOUNDATION. POSTS 4 STUDS IN A BEARING WALL ARE STRUCTURAL COLUMNS 4 SHALL BE LATERALLY SUPPORTED WITH SHEATHING, INTERMEDIATE BRACING, HORIZONTAL BRIDGING, WALL COVERING, AND FLOOR 4 ROOF CONSTRUCTION.

3. PLACE DOUBLE JOISTS OR SOLID BLOCKING (OF SAME SIZE AS JOISTS) UNDER WALLS ABOVE.

4. ALL JOISTS SHALL HAVE (1) ROW OF BRIDGING AT MIDSPAN (OF SAME SIZE AS JOISTS)

5. ALL EXPOSED WOOD TRIM 4 ROOF COVERING SHALL BE NAILED SECURELY W/ ALUMINUM COPPER ZINC-COATED STEEL, OR OTHER APPROVED CORROSION RESISTIVE NAILS IN ACCORDANCE WITH REQUIREMENTS STATED IN THIS SECTION. SHINGLES AND OTHER WEATHER COVERINGS SHALL BE ATTACHED WITH APPROPRIATE STANDARD NAILS OR APPROVED MECHANICALLY BONDING NAILS.

6. FOLLOW TJI MANUFACTURER'S REQUIREMENTS FOR CUTTING HOLES IN WEBS. FLANGES SHALL NOT BE CUT

FINISH CARPENTRY

1. FINISH CARPENTRY SHALL INCLUDE BUT NOT BE LIMITED TO INSTALLATION OF DOORS AND FRAMES, WINDOWS, FINISH HARDWARE AND MILLWORK, AND BE MADE OR INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. FINISH CARPENTRY SHALL BE MADE TO ORDER. FINISH CARPENTRY SHALL BE MACHINE SANCED, READY FOR FINISHING; ALLOW FOR THE FREE MOVEMENT OF ALL WINDOWS, DOORS AND PANELS. COUNTERSINK ALL NAILS.

2. WHEN THE PROJECT IS COMPLETED, DOORS SHALL NOT BIND, STICK OR BE MOUNTED SO AS TO CAUSE FUTURE HARDWARE DIFFICULTIES. DOOR AND WINDOW FRAMES SHALL BE INSTALLED SQUARE AND PLUMB.

3. FOR DOORS, USE HARDWARE TEMPLATES FURNISHED BY THE HARDWARE MANUFACTURER. BE SURE THAT HINGES ARE IN A STRAIGHT LINE TO PREVENT DISTORTION. FINISHED CLEARANCE BETWEEN DOOR AND FRAME SHALL BE 1/8" INCH MAXIMUM.

4. PROVIDE ALL NECESSARY PLYWOOD BLOCKING AS REQUIRED TO SUPPORT SHELVING, CABINETS, ETC.

SHIMPO STRONG-TIE CONNECTORS (UNLESS OTHERWISE NOTED IN THE SHIMPO CATALOG)

1. MATERIALS SHALL BE MANUFACTURED BY THE FOLLOWING STANDARDS - STEEL SHEET: ASTM A36, ASTM A693, ASTM A572, ASTM A575, ASTM A501, ASTM A574, ASTM A578, SAE 4032 (50S SCREWS) STAINLESS STEEL SHEET: ASTM A240, ASTM A480 4 FASTENERS: ASTM A433 FINISHES: GRAY PAINT, HOT-DIPPED GALVANIZED OR ELECTRO-PLATED GALVANIZED. G30, G85 (2X MAX OR HDG) POWDER-COATED GALVANIZED GALVANIZED, ZINC CHROMATE 4 DOUBLE BARRIER FOR S0 4 S0S SCREWS

2. ALLOWABLE LOADS FOR HANGERS ARE DETERMINED BY A STATIC LOAD TEST RESULTING IN NOT MORE THAN A 1/8" DEFLECTION OF THE JOIST RELATIVE TO THE HEADER OR EITHER THE LOWEST OF 3 OR AVERAGE OF 6 UTMATE LOAD DIVIDED BY 3, OR THE FASTER ALLOW LOAD AS SET BY THE NOS, WHICHEVER IS LOWEST.

3. ALLOWABLE LOADS ARE FOR DOUGLAS FIR-LARCH UNDER CONTINUOUSLY DRY CONDITIONS. ALLOWABLE LOADS FOR OTHER SPECIES OR CONDITIONS MUST BE ADJUSTED ACCORDING TO THE CODE. SEE MANUFACTURER'S CATALOG FOR ADDITIONAL NOTES 4 REQUIREMENTS.

4. BOLTS, SCREWS 4 OR NAILS SHALL NOT BE COMBINED. ALL NAILS SHALL BE COMMON

5. BENDING STRESS IN THE FIELD MAY CAUSE FRACTURES AT THE BEND LINE. FRACTURED STEEL WILL NOT CARRY THE ALLOWABLE LOAD 4 MUST BE REPLACED, WHEN BENDING IS ALLOWED OR REQUIRED IN THE CATALOG, THE CONNECTOR SHALL BE ALLOWED ONE CYCLE BEND, ONE TIME ONLY.

6. GALVANIZED CONNECTORS SHOULD NOT BE PLACED IN CONTACT WITH TREATED WOOD UNLESS THE TREATED WOOD IS ADEQUATELY VERIFIED TO BE SUITABLE FOR SUCH CONTACT. SOME WOOD TREATMENTS MAY ACCELERATE METAL DETERIORATION. SEE THE MANUFACTURER'S CATALOG FOR SPECIFIC RECOMMENDATIONS.

7. A FASTENER THAT SPLITS THE WOOD WILL NOT CARRY THE ALLOW LOAD. EVALUATE SPLITS TO DETERMINE IF THE CONNECTION WILL PERFORM AS REQUIRED. DRY WOOD WILL SPLIT MORE EASILY 4 SHOULD BE EVALUATED AS FOLLOWS: FOR WOODS TO SPLIT, CONSIDER PIER-BORING HOLES WITH A DIA NOT EXCEEDING 5/8 OF THE NAIL DIA, FOR SCREWS IN WOOD WITH A SPECIFIC GRAVITY OF 0.43 OR GREATER USE: 5/32" FOR S0S 5/64" FOR S0D OR S0D, 4 1/16" FOR S0D 2 (200S ND9) 11/4 (115.3).

8. BUILT-UP LUMBER (MULTIPLE MEMBERS) MUST BE FASTENED TOGETHER TO ACT AS ONE UNIT TO RESIST THE APPLIED LOAD.

9. FILL ALL FASTENER HOLES WITH FASTENER TYPES AS SPECIFIED IN THE MANUFACTURER'S CATALOG.

10. ALL SPECIFIED FASTENERS MUST BE INSTALLED ACCORDING TO THE INSTRUCTIONS IN THE CATALOG.

11. BOLT HOLES SHALL BE A MIN OF 1/4" 4 A MAX. OF 1/4" LARGER THAN THE BOLT DIAMETER (200S ND9 112.2).

12. INSTALL ALL SPECIFIED FASTENERS BEFORE LOADING THE CONNECTION.

13. THE JOIST SHALL BEAR COMPLETELY ON THE CONNECTOR SEAT THE GAP BETWEEN THE JOIST END 4 THE HEADER OR BACK PLATE OF THE HANGER SHALL NOT EXCEED 1/8"

14. ANCHOR BOLT NUTS SHOULD BE FINGER-TIGHT PLUS 1/3 TO 1/2 TURN WITH A WRENCH. DO NOT USE AN IMPACT WRENCH TO TIGHTEN NUTS ON THE ANCHOR BOLTS.

15. MODIFICATIONS TO PRODUCTS OR CHANGES IN INSTALLATION PROCEDURES SHOULD ONLY BE MADE BY A QUALIFIED DESIGNER. THE PERFORMANCE OF SUCH MODIFIED PRODUCTS OR ALTERED INSTALLATION PROCEDURE IS THE SOLE RESPONSIBILITY OF THE DESIGNER.

TRUS JOIST OR APPROVED EQUAL

1. THESE PRODUCTS SHALL BE DESIGNED AND MANUFACTURED TO THE STANDARDS SET FORTH IN THE ICC EVALUATION SERVICE, INC. REPORT ESR-1381.

2. ADHESIVES SHALL BE OF THE WATERPROOF TYPE CONFORMING TO THE REQUIREMENTS OF ASTM D-2559.

3. ALL STRUCTURE SHALL BE INSTALLED IN ACCORDANCE WITH THE PLANS AND ANY I/LEVEL, TRUS JOIST DRAWINGS AND INSTALLATION INSTRUCTIONS. TEMPORARY CONSTRUCTION LOADS THAT CAUSE STRESSES BEYOND DESIGN LIMITS ARE NOT PERMITTED. SAFETY BRACING IS TO BE PROVIDED BY THE INSTALLER TO MAINTAIN THE TRUS JOIST UPRIGHT AND PLUMB AS REQUIRED AND TO ASSURE ADEQUATE LATERAL SUPPORT FOR THE INDIVIDUAL STRUCTURE MEMBERS AND THE ENTIRE SYSTEM.

BATT AND BOARD INSULATION

1. BATT INSULATION SHALL BE FIBERGLASS W/ FOIL FACE, THE WIDTH OF FRAMING SPACING, 4 THE THICKNESS 4 R-VALUE AS INDICATED ON THE DRAWINGS. APPROVED MANUFACTURERS SHALL BE CERTAINTED CORP., MANVILLE CORP. AND OWENS-CORNING FIBERGLASS CORP.

2. INSULATION SHALL BE QUENCHED IN ACCORDANCE WITH THE MFR'S RECOMMENDATIONS AND THE FOLLOWING: LEAVE NO GAPS IN INSULATION ENVELOPE INSTALL BETWEEN JAMBS AND FRAMING, BEHIND PLUMBING AND WIRING.

GYPSON BOARD


1. ALL GYPSON BOARD ON WALLS AND CEILINGS SHALL BE 1/2 INCH THICK WITH TAPERED EDGES AND PAPER FACING SUITABLE FOR PAINTING. FASTEN WITH 1-5/8 INCH BUGLE HEAD SCREWS, TYPE W AT 12 INCHES ON CENTER MAXIMUM. PROVIDE AND INSTALL MFR'S STANDARD PESTAL TRIM ACCESSORIES TO THE BEADED TYPE WITH FACE FLANGES FOR CONCEALMENT IN JOINT COMPOUND. CORNER BEADS AT ALL EXTERIOR CORNERS. JOINT COMPOUND SHALL BE AS RECOMMENDED BY THE GYPSON BOARD MANUFACTURER. PROVIDE WATER RESISTANT BOARDS THROUGHOUT RESTROOMS.

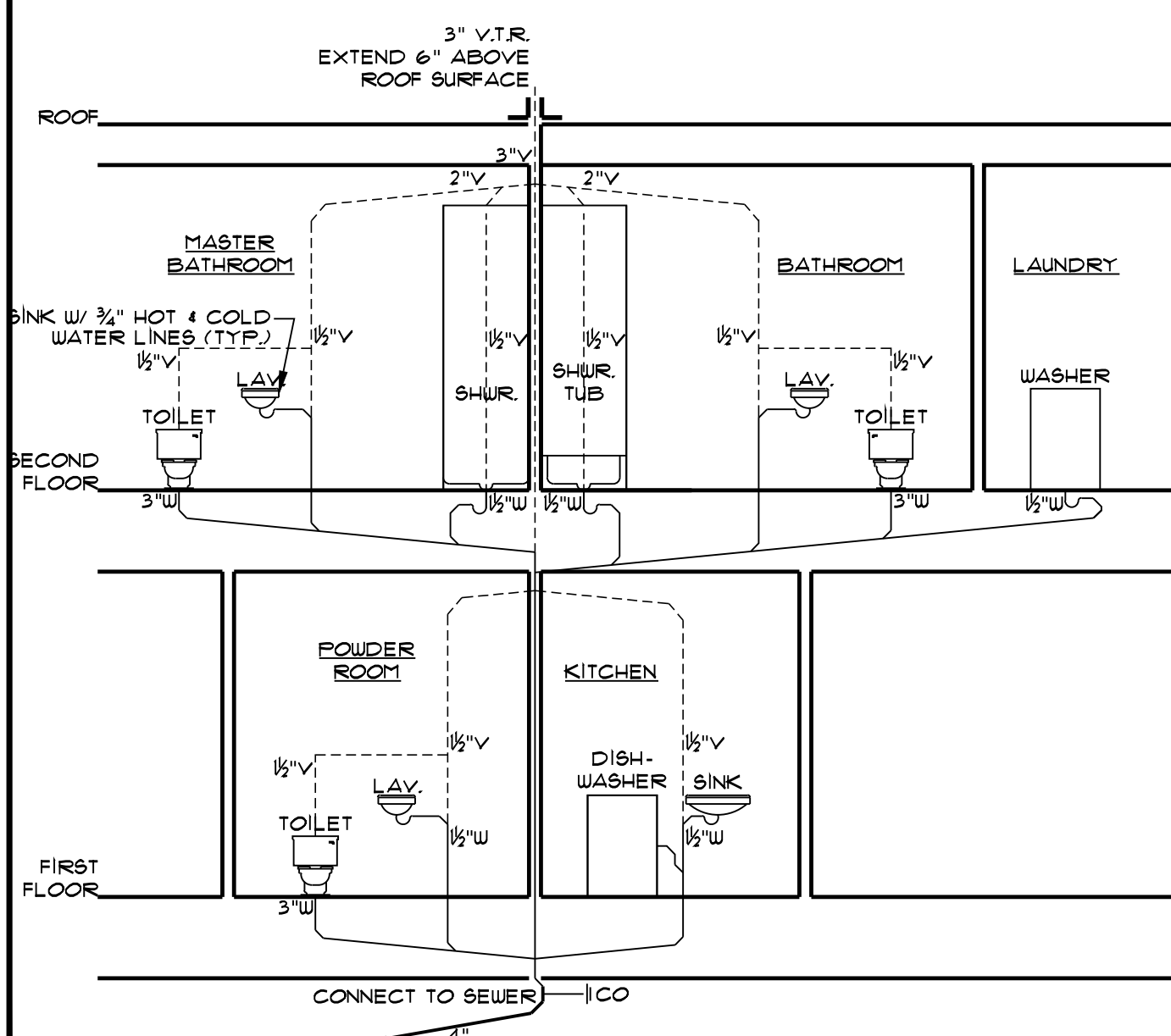
2. INSTALL GYPSON BOARD IN LENGTHS AND DIRECTIONS WHICH WILL MINIMIZE THE NUMBER OF END JOINTS AND AVOID JOINTS IN THE CENTRAL AREA OF THE CEILING. JOINTS AT THE BOTTOM OF ALL WALLS SHALL BE CALKED WITH A LATEX CALK FOR SOUND ISOLATION.

3. APPLY JOINT TAPE AND JOINT COMPOUND AT JOINTS OF GYPSON BOARD IN BOTH DIRECTIONS. APPLY COMPOUND IN CREVISES, CRACKS, PENETRATIONS, FASTENER HEADS AND SURFACE DEFECTS. INSTALL COMPOUND IN 3 COATS (PREFILL, FLANGE AS RECOMMENDED BY MFR.) SAND AFTER LAST 2 COATS AND PREPARE SURFACE FOR PAINTED FINISH.

new residence for:	
HILLIARD	
CONSTRUCTION	
289 BAY AVENUE HIGHLANDS, NEW JERSEY Block 81, Lot 12.02	
CODE CONFORMANCE	
BUILDING STATISTICS	
USE GROUP:	R 5
CONSTRUCTION TYPE:	V B
ZONING:	R201
BUILDING STATISTICS:	
GRADE LEVEL AREA:	819 S.F.
(1) FLOOD VENT/200 S.F.	5 PROPOSED)
FIRST FLOOR AREA:	762 S.F.
SECOND FLOOR AREA:	196 S.F.
TOTAL LIVING AREA:	2,317 S.F.
VOLUME:	24,7657 S.F.
APPLICABLE CODES:	
• INTERNATIONAL RESIDENTIAL CODE, NJ ED	2015
• INTERNATIONAL MECHANICAL CODE	2015
• NATIONAL STANDARD PLUMBING CODE	2015
• NATIONAL ELECTRIC CODE	2014
• INTERNATIONAL FIRE CODE	2015
• INTERNATIONAL ENERGY CONS. CODE	2015
ADDITIONAL STANDARDS:	
1. THIS PROPERTY IS IN THE FEMA FLOOD ZONE 'AE' & IS DESIGNED PER THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE, 2015 NJ EDITION (IRC) SECTION R322.2 'FLOOD HAZARD AREAS, INCLUDING A ZONES'	
2. PROPERTY SHALL BE IN CONFORMANCE W/APPLICABLE DESIGN & CONSTRUCTION STANDARDS OF THE FLOOD HAZARD AREA CONTROL ACT N.J.S.A. 58:15A-50 ET. SEQ., & IMPLEMENTING RULES AS N.J.A.C. 7:13	
3. FLOOD VENTS SHALL CONFORM W/STANDARD 44 CFR PART 60 AND FEMA TECHNICAL BULLETIN 1	
4. DECK, STAIRS, RAMPS AND EQUIPMENT SHALL CONFORM W/THE REQUIREMENTS OF THE FEDERAL FLOOD REDUCTION STANDARD 44 CFR PART 60 AND FEMA'S TECHNICAL BULLETIN 5	
5. ALL MATERIALS INSTALLED BELOW THE DESIGN FLOOD ELEVATION SHALL BE CONSTRUCTED OF FLOOD RESISTANT MATERIALS IN ACCORDANCE W/THE INTERNATIONAL RESIDENTIAL CODE, NJ ED, 2015, IRC 322.1.B & THE NATIONAL FLOOD INSURANCE PROGRAM	
6. CONTRACTOR SHALL CONFORM TO THE STANDARDS/ SPECIFICATIONS SET FORTH IN THE NEW JERSEY RREM PROGRAM "MINIMUM HOUSING REHABILITATION STANDARDS," LATEST ED, IF APPLICABLE TO THIS PROJECT	
NOTIFY ARCHITECT IMMEDIATELY, IF THESE DRAWINGS DEVIATE FROM THE REQUIREMENTS SET FORTH IN THE LATEST CODES & STANDARDS	
DRAWING INDEX	
CS-1.0	COVER SHEET, CODE CONFORMANCE, GENERAL NOTES & SPECIFICATIONS
A-1.0	GRADE LEVEL & FIRST FLOOR PLANS, NOTES PLUMBING RISER DIAGRAM
A-1.1	SECOND FLOOR & ROOF PLANS, SCHEDULES
A-2.0	ELEVATIONS
A-3.0	DETAILS
A-3.1	DETAILS
A-3.2	FASTENING SCHEDULE

ELEVATION INFORMATION	
ELEVATIONS	
FLOOD ZONE:	AE
PROPOSED GARAGE:	6.0'
PROPOSED FINISHED FLOOR:	15.0'
(UTILITIES SHALL BE NO LOWER THAN THIS ELEVATION)	
BASE FLOOD ELEVATION (BFE):	11.0'
BFE ELEVATION DATUM:	NAVDD88
ALL AREAS BELOW THE FINISHED FLOOR SHALL BE FOR STORAGE ONLY	

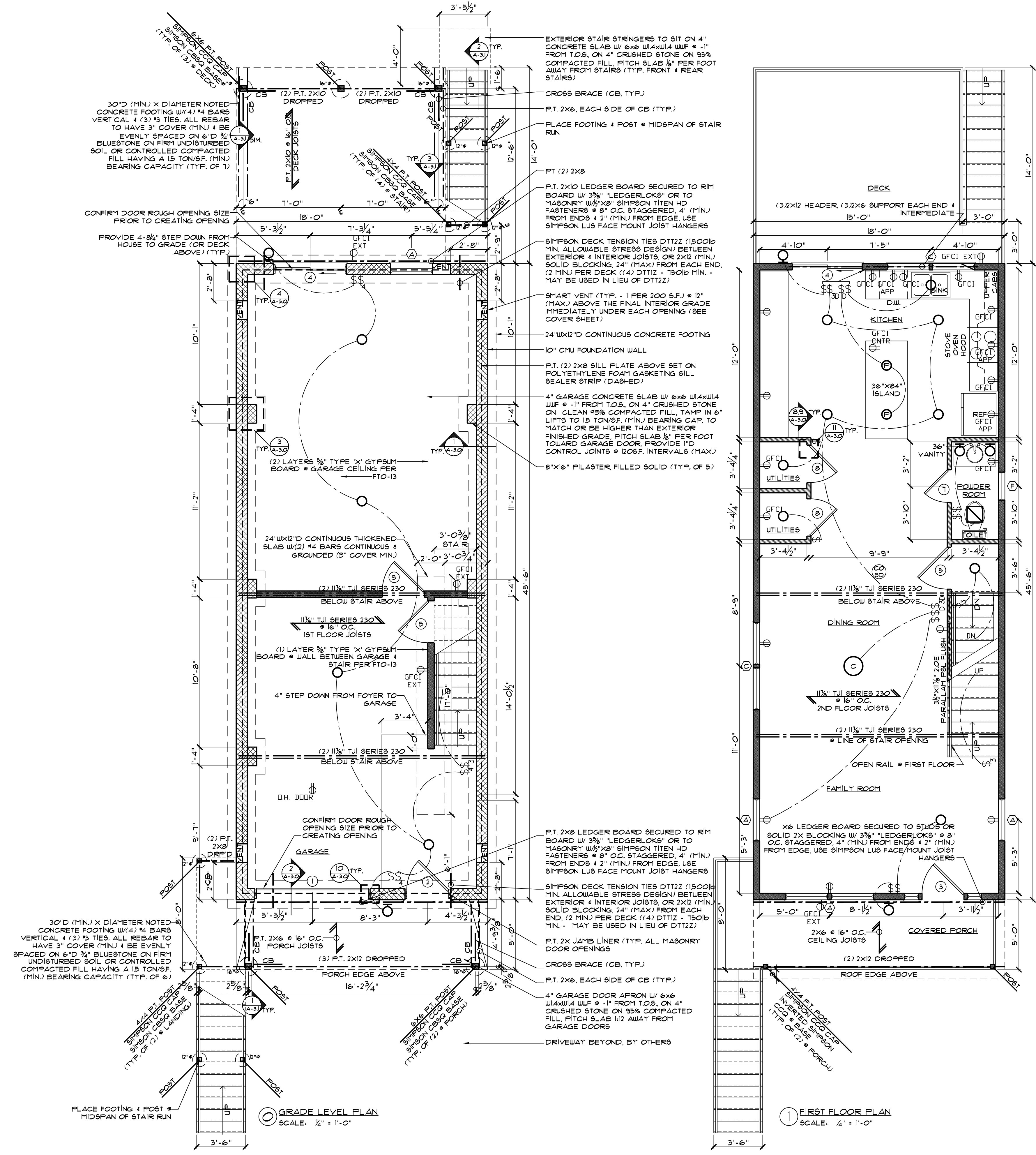
PERMIT SET		CS-1.0	
<p>HILLIARD CONSTRUCTION</p> <p>new residence for:</p> <p>COVER SHEET,</p> <p>CODE CONFORMANCE,</p> <p>GENERAL NOTES</p> <p>& SPECIFICATIONS,</p>			
289 BAY AVENUE HIGHLANDS, NEW JERSEY		BLOCK 81 LOT 12.02	
DATE:		REVISION:	
DRAWN: CHECKED: RCG		SCALE: AS NOTED	 NORTH
<div style="float: right; width: 100px; text-align: right;"> GRAMMER DESIGNS, LLC <i>A Limited Liability Company</i> —KGD Celebrating 50-Years of Design— 241 Maple Avenue 732-842-2021 Red Bank, NJ 07701 DesignStudio@kgdarch.com </div> <div style="clear: both;"></div>			



2 PLUMBING RISER DIAGRAM
SCALE: N.T.S.

PLUMBING:

- MAINTAIN 1/4" FT PITCH ON ALL WASTE LINES
- ALL PLUMBING FIXTURE LOCATIONS ARE FOR DIAGNOSTIC PURPOSES ONLY. OWNER'S PLUMBING CONTRACTOR TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION.



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXCAVATION NOTE:

A. OWNER'S CONTRACTORS TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO EXCAVATION & START OF CONSTRUCTION.

B. CONTACT ARCHITECT IMMEDIATELY IF WATER IS PRESENT DURING EXCAVATION

STRUCTURAL (UNLESS OTHERWISE NOTED)

A. ALL STRUCTURE MUST BE ABLE TO SUPPORT THE FOLLOWING UNIFORMLY DISTRIBUTED LOADS:

AB. LIVE FLOOR LOAD: 40 PSF

AC. LIVE FLOOR LOAD (BEDROOMS): 30 PSF

AD. LIVE DECK LOAD: 40 PSF

AE. LIVE ATTIC LOAD: 20 PSF

AF. LIVE ROOF LOAD: 20 PSF

AG. SNOW LOAD: 20 PSF

B. ALL 2X STRUCTURAL FRAMING TO BE DOUG FIR LARCH 2 OR BETTER (UNFACTORED F_b=1815psi, E=1600000psi - MIN., 'S-DRY' (19% MAX. MOISTURE CONTENT)

C. ALL POSTS SHALL BE DOUG FIR 4 OR BETTER (UNFACTORED F_b=1815psi, F_v=950psi, E=1300000psi - MIN.)

D. ALL EXTERIOR EXPOSED WOOD TO BE PRESERVATIVE TREATED (PT) PRESSURE

E. STRUCTURE TO HAVE FULL 3" END BEARING (MIN.)

F. INSTALL PROPER JOIST HANGERS # ALL JOIST MEMBERS PER THE MANUFACTURER'S REQ.

G. ALL JOISTS SHALL HAVE (1) ROW OF BRIDGING AT MIDSPAN (OF SAME SIZE AS JOISTS)

H. PLACE DOUBLE JOISTS OR SOLID BLOCKING, SAME DEPTH AS JOISTS UNDER WALLS ABOVE

I. ALL JOIST JOISTS SHALL BE TIMBERSTRAND 1/2" LSL RIM JOIST TO SUPPORT 3400lb/ft (MIN.)

J. PROVIDE TJI LAYOUT TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIALS

K. FOLLOW ENGINEERED LUMBER MANUFACTURER'S REQUIREMENTS FOR INSTALLATION, KNOTCHING & CUTTING HOLES

L. SEE MINIMUM WOOD FASTENING SCHEDULE FOR ADDITIONAL INFORMATION

HEADER SCHEDULE (UNLESS OTHERWISE NOTED)

CONCRETE OPENINGS

- CONCRETE TO BE 4000 PSI
- REBAR TO BE GRADE 60
- 8" BEARING ON FULLY GROUTED CORES (16" HORIZONTALLY FROM OPENING EDGE, MIN.) W/ (1) 15 BAR FROM BOTTOM OF HEADER TO TOP OF FOOTING, EACH END (MIN.)

8" BEARING ON FULLY GROUTED CORES (16" HORIZONTALLY FROM OPENING EDGE, MIN.) W/ (1) 15 BAR FROM BOTTOM OF HEADER TO TOP OF FOOTING, EACH END (MIN.)

OPENING SIZE

UP TO 10'-0"

9 5/8" WALL

(1) 4X8 CONCRETE LINTEL

(1) 6X8 CONCRETE LINTEL

(1) 15 BAR TOP & BOTTOM, EACH

2X4 WOOD FRAMED OPENINGS

- PROVIDE 1/2" PLYWOOD SPACER BETWEEN MEMBERS 1/2" MIN. THICKNESS
- ALL OPENINGS TO HAVE (2) 2X4 JACK STUDS & (1) 2X4 KING STUD, EACH SIDE
- OPENING SIZE
- UP TO 3'-0"
- GLUE & NAIL (2) ROUS 16d @ 16" O.C.
- 3'-0" TO 3'-0"
- GLUE & NAIL (3) ROUS 16d @ 16" O.C.
- 5'-0" TO 8'-0"
- GLUE & NAIL (4) ROUS 16d @ 16" O.C.

2X6 WOOD FRAMED OPENINGS

- PROVIDE 1" EXTRUDED POLYSTYRENE, CLOSED CELL, RIGID FOAM INSULATION ON INTERIOR SIDE (SEE DETAIL)
- ALL OPENINGS TO HAVE (2) 2X6 JACK STUDS & (1) 2X6 KING STUD, EACH SIDE
- OPENING SIZE
- UP TO 3'-0"
- GLUE & NAIL (2) ROUS 50d @ 16" O.C.
- 3'-0" TO 3'-0"
- GLUE & NAIL (3) ROUS 50d @ 16" O.C.
- 5'-0" TO 8'-0"
- GLUE & NAIL (4) ROUS 50d @ 16" O.C.

BLOCKING:

A. PROVIDE 2X LATERAL BLOCKING, SAME WIDTH AS STUD CAVITY, BOTH SIDES OF ALL POSTS

B. PROVIDE 2" NOMINAL FIREBLOCKING & / OR APPROVED MINERAL WOOL OR GLASS FIBER BATTIS OR BLANKETS @ THE FOLLOWING LOCATIONS PER IRC R202.11.1-R202.11.2

K.A. IN CONCEALED SPACES OF STUD WALLS & PARTITIONS, VERTICALLY @ CEILING & FLOOR LEVEL

K.B. HORIZONTALLY @ INTERVALS NOT EXCEEDING 10'

K.C. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL & HORIZONTAL SPACES INCLUDING SOFFITS, DROP & COVE CEILING, AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, & WIRES @ CEILING & FLOOR LEVEL

STAIRS (SEE STAIR/DECK DETAILS FOR ADDITIONAL INFORMATION)

- 2X12 BOX STRINGERS (3" MIN.), EACH SIDE & CENTER/ SET ON SLAB/FLOOR, EQUALLY SPACED
- 3/4" CLOSED TREAD & RISERS, 8 1/2" (MAX.) RISER, 9" (MIN.) TREAD

HANDRAILS & GUARDRAILS SHALL COMPLY W/THE FOLLOWING (TYP. ALL STAIRS & PLATFORMS):

1. HANDRAILS SHALL BE 34" (MIN.) & 38" (MAX.) ABOVE THE WALKING SURFACE

2. SHALL BE DESIGNED & CONSTRUCTED TO RESIST A LOAD OF 50lb/ft APPLIED IN ANY DIRECTION @ THE TOP & TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE

3. SHALL BE DESIGNED & CONSTRUCTED TO RESIST A SINGLE CONCENTRATED LOAD OF 200lb APPLIED IN ANY DIRECTION @ ANY POINT ALONG THE TOP & TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE

4. THE LOADING CONDITIONS SHALL NOT BE APPLIED CONCURRENTLY

GRAMMER DESIGNS, LLC
A Limited Liability Company
-KGD Celebrating 50+ Years of Design-
281 Maple Avenue
Red Bank, NJ 07701
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DesignStudio@grammerdesigns.com
NJ License No. 17694

new residence for:

HILLIARD CONSTRUCTION

289 BAY AVENUE
HIGHLANDS, NEW JERSEY

BLOCK 81
LOT 12.02

DATE	REVISION	NUMBER	NORTH

DATE: _____
DRAWN: RCG
CHECKED: RCG

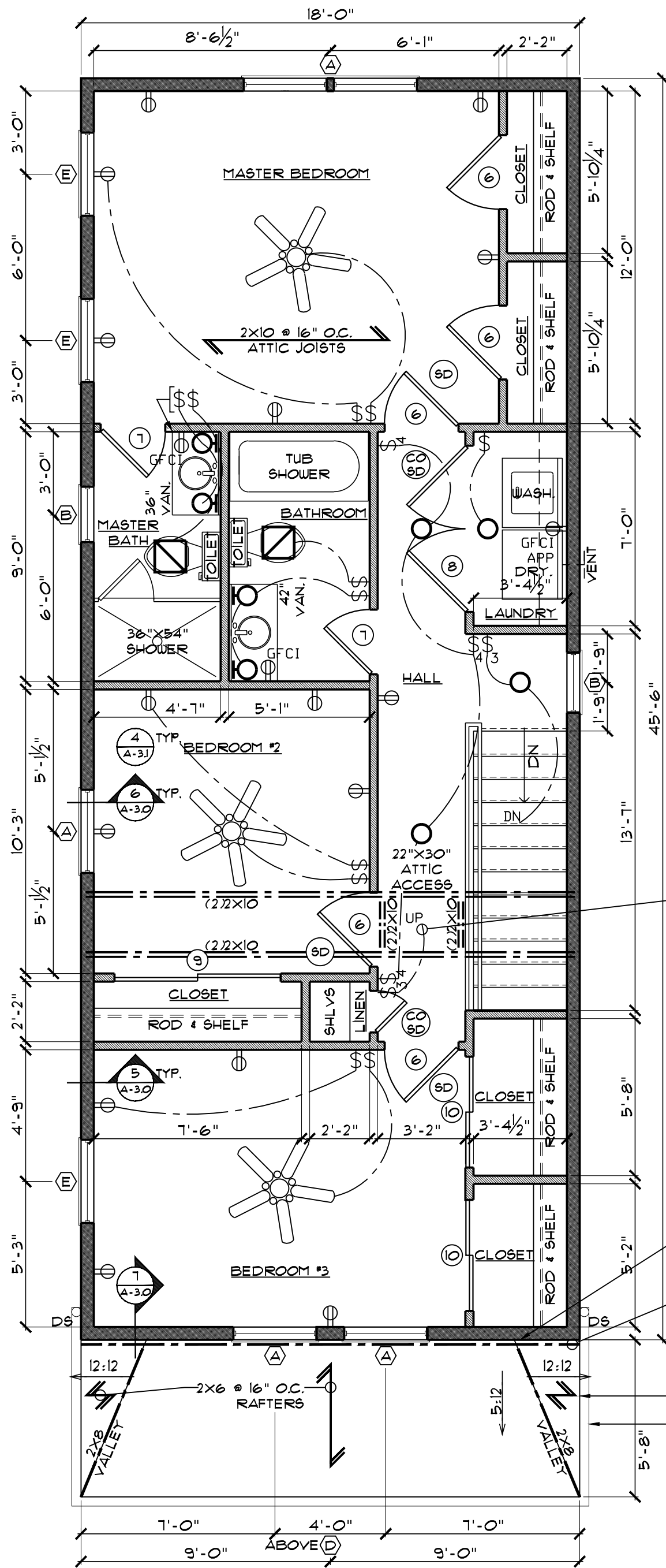
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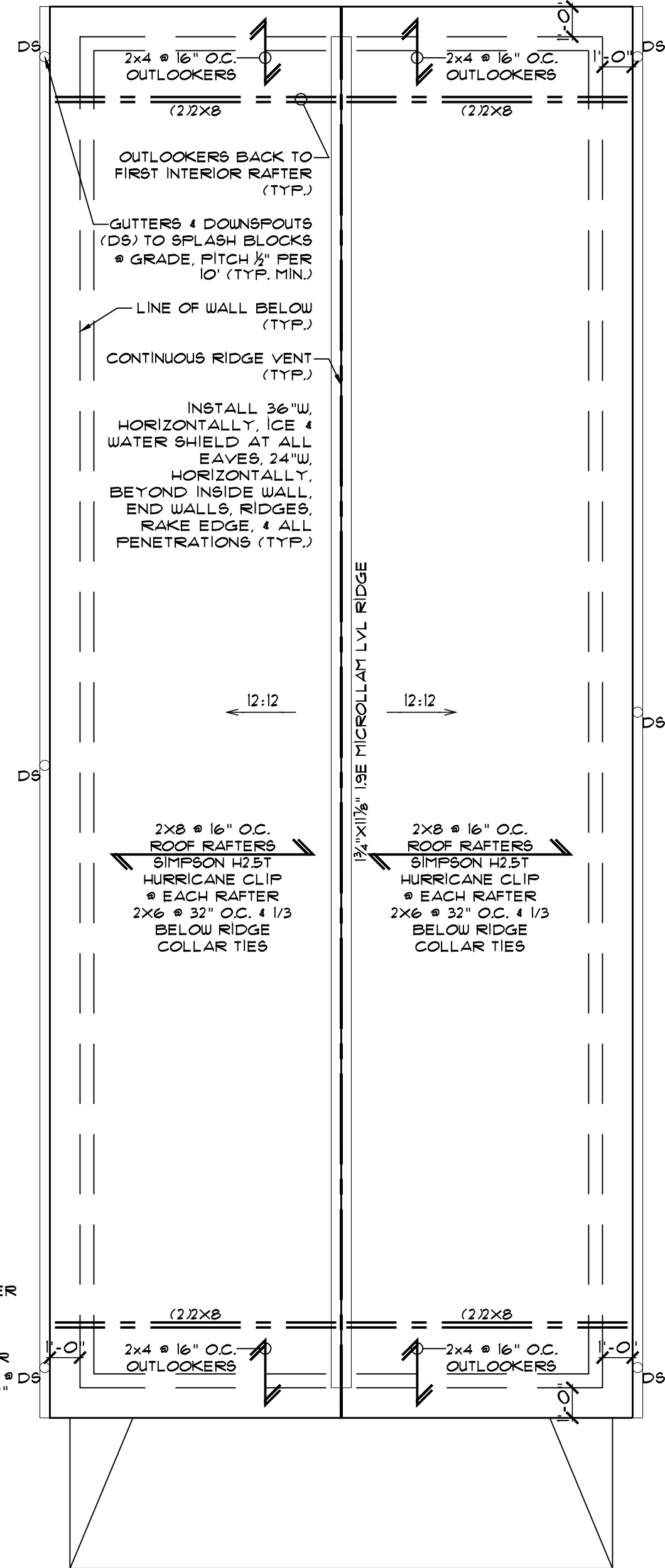
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FINISH SCHEDULE: (OR APPROVED EQUAL) FINAL INTERIOR FINISH SELECTIONS BY OWNER				
	FLOOR	BASE	WALL	CEILING
GRADE LEVEL				
GARAGE	F3	-	E	C1
FOYER	F2	B1	E	C1
FIRST FLOOR				
PORCH	-	-	-	C2
FAMILY ROOM	F1	B1	E	C1
DINING ROOM	F1	B1	E	C1
KITCHEN	F1	B1	E	C1
POWDER ROOM	F2	B1	E	C1
UTILITIES	F2	B1	E	C1
SECOND FLOOR				
MASTER BEDROOM	F1	B1	E	C1
MASTER BATHROOM	F2	B1	E	C1
CLOSET	F1	B1	E	C1
CLOSET	F1	B1	E	C1
BEDROOM #2	F1	B1	E	C1
CLOSET	F1	B1	E	C1
BEDROOM #3	F1	B1	E	C1
CLOSET	F1	B1	E	C1
LAUNDRY	F2	B1	E	C1
BATHROOM	F2	B1	E	C1
CLOSET	F1	B1	E	C1
NOTES:				
FLOOR	F1 - HARDWOOD F2 - TILE (CERAMIC OR VCT) F3 - CONCRETE			
BASE	B1 - WOOD			
WALL	W1 - TAPED, SPACKLED, SANDED, (1) COAT PRIMER (2) COATS LATEX PAINT, EGGSHELL			
CEILING	C1 - TAPED, SPACKLED, SANDED, (1) COAT PRIMER (2) COATS LATEX PAINT, FLAT FINISH C2 - PVC BEADBOARD			
G. CABINET, COUNTERTOP, APPLIANCE & FIXTURE	STYLES, FINISH & LAYOUT AS DETERMINED BY OWNER (TYPICAL OF KITCHEN, BATHROOMS & LAUNDRY)			
H. FOLLOW MANUFACTURER'S INSTRUCTIONS ON	APPLICATION OF ALL FINISH MATERIALS.			
I. CLEAN SURFACES THOROUGHLY TO REMOVE ALL	DIRT, CHALK, OIL, GREASE, LOOSE PAINT OR OTHER SURFACE DEPOSITS TO SOUND SURFACE, PRIOR TO APPLICATION OF FINISH			
J. PROVIDE ROD, HOOKS & SHELVES WHERE NOTED				

ELECTRICAL:	
A. ELECTRICAL SWITCHES, RECEPTACLES, LIGHTING, ETC. ARE FOR DIAGRAMMATIC PURPOSES ONLY. OWNERS ELECTRICAL CONTRACTOR TO VERIFY ALL EXISTING & PROPOSED CONDITIONS PRIOR TO DESIGN & CONSTRUCTION	
B. ALL ELECTRIC ON CMU SHALL BE RUN IN EMT	
C. INTERNET/DATA/TELEPHONE (OWNER LOCATED)	
D. CABLE TV (OWNER LOCATED)	
E. SWITCH # 48" AFF. TO TOP	
F. PROVIDE (1) (MIN) WALL SWITCH CONTROLLED LIGHT OR LIGHTING OUTLET IN EACH ROOM	
G. PROVIDE (1) (MIN) INTERIOR WALL SWITCH CONTROLLED EXTERIOR LIGHT # ALL EXTERIOR DOORS	
H. SWITCH (3-WAY) # 48" AFF. TO TOP	
I. SWITCH (4-WAY) # 48" AFF. TO TOP	
J. SWITCH (DIMMER) # 48" AFF. TO TOP	
K. DUPLEX RECEPTACLE # 16" AFF. TO & DUPLEX RECEPTACLE (APF) APPLIANCE HEIGHT	
L. DUPLEX RECEPTACLE (GFCI) # 48" AFF. TO TOP	
M. DUPLEX RECEPTACLE (EXT) # 48" AFF. TO TOP	
N. DUPLEX RECEPTACLE (CNTR) IN COUNTER	
O. GROUND-FAULT CIRCUIT INTERRUPTER WITHIN 6' OF SINK EDGE, DISHWASHERS, KITCHEN COUNTERS, BATHROOM, LAUNDRY & ALL EXTERIOR AREAS (PROVIDE WEATHERTIGHT COVER # EXTERIOR)	
P. PROVIDE RECEPTACLES SPACED AT 12" O.C. (MAX) MEASURED HORIZONTALLY # THE FLOOR LINE ALONG ALL WALLS	
Q. WALL MOUNTED LIGHT (OWNER SELECTED)	
R. CEILING MOUNTED LIGHT SURFACE OR RECESSED (OWNER SELECTED)	
S. PENDANT (OWNER SELECTED)	
T. CHANDALIER (OWNER SELECTED)	
U. BATHROOM MECHANICAL EXHAUST W/LIGHT (20 CFM INTERMITTENT OR 20 CFM CONTINUOUS)	
V. COMBINATION CARBON MONOXIDE / SMOKE DETECTOR (WIRELESS OR HARD-WIRED, INTERCONNECTED, BATTERY BACK-UP)	
W. SMOKE DETECTOR (WIRELESS OR HARD-WIRED, INTERCONNECTED, BATTERY BACK-UP)	
X. CEILING FAN W/LIGHTS, MAINTAIN 54" (MIN) FROM ALL CO/SD DETECTORS (OWNER SELECTED)	



1 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
10" CMU	
2x4 WALL	
2x6 WALL	
1. DIMENSIONS ARE MEASURED TO ACTUAL MATERIAL SIZES, UNLESS OTHERWISE INDICATED	
2. ALL DIMENSIONS TO BE VERIFIED PRIOR TO EXCAVATION & CONSTRUCTION	
3. SEE GENERAL NOTES FOR ADDITIONAL INFO.	
4. SEE SHEET A-3.0 - A-3.2 FOR TYP. DETAILS & FASTENERS	
5. THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES OR DEFICIENCIES EXIST.	

DOOR SCHEDULE: (OR APPROVED EQUAL) SUBMIT SHOP DRAWINGS FOR APPROVAL TO OWNER / ARCHITECT PRIOR TO ORDERING	
NO.	1 2 3 4 5 6 7 8 9
UNIT SIZE (WxH)	8'-0"x1'-0" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8" 3'-0"x6'-8"
TYPE	SECTIONAL EXT. ENTRY EXT. ENTRY EXT. GLIDING INT. GARAGE INT. SLIDING INT. SLIDING INT. SLIDING INT. SLIDING INT. SLIDING
WTRH	Y Y Y Y Y Y Y Y Y Y
STRFD	Y Y Y Y Y Y Y Y Y Y
NOTES:	
A. SECTIONAL OVERHEAD DOOR	
A.A. SHALL BE TESTED IN ACCORDANCE WITH ANSI/DASMA 105, AND SHALL MEET THE ACCEPTANCE CRITERIA OF SAME, PER IRC R608.4	
A.B. PANEL STYLE SELECTED BY OWNER	
A.C. FULL PERIMETER WEATHERSTRIPPING	
B. EAGLE BY ANDERSEN ASCENT HINGED ENTRY DOOR	
B.A. FULL PERIMETER WEATHERSTRIPPING	
B.B. PANEL STYLE SELECTED BY OWNER	
C. EAGLE BY ANDERSEN ASCENT HINGED ENTRY DOOR	
C.A. FULL PERIMETER WEATHERSTRIPPING	
C.B. PANEL STYLE SELECTED BY OWNER	
D. ANDERSEN FRENCHWOOD SLIDING PATIO DOOR	
D.A. FULL PERIMETER WEATHERSTRIPPING	
D.B. LOW E4 TEMPERED GLASS	
D.C. CONCEALED, RETRACTABLE INSECT SCREENS	
E. INTERIOR GARAGE DOOR	
E.A. FULL PERIMETER WEATHERSTRIPPING	
E.B. 1 3/8" SOLID-CORE WOOD OR 1 3/8" SOLID OR HONEYCOMB STEEL	
F. PROVIDE EXTENSION JAMBS, AS REQUIRED	
G. DOOR STYLE & TRIM AS SELECTED BY OWNER	
H. EXTERIOR & INTERIOR DOOR HARDWARE & KEYING AS SELECTED BY OWNER	
I. CENTER DOORS ON WALLS, WHERE POSSIBLE, OR 3" FROM PERPENDICULAR	
J. SEE PLANS FOR SWING & DOOR HAND	
K. INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THESE DRAWINGS, SUPERCEDED ONLY BY THE MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS.	

WINDOW SCHEDULE: (OR APPROVED EQUAL) SUBMIT SHOP DRAWINGS FOR APPROVAL TO OWNER / ARCHITECT PRIOR TO ORDERING	
NO.	A B C D E F
UNIT SIZE (WxH)	2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2" 2'-11 1/2"x3'-0 1/2"
TYPE	DOUBLE HUNG DOUBLE HUNG CASERMENT CIRCLE AWNING AWNING AWNING
NOTES:	
A. ALL HEADS TO ALIGN W/ DOOR HEADS	
B. PROVIDE EXTENSION JAMBS, AS REQUIRED	
C. ANDERSEN 400 SERIES, TILT-WASH DOUBLE HUNG, CASERMENT AWNING & CIRCLE WINDOW	
C.A. FULL PERIMETER WEATHERSTRIPPING	
C.B. LOW E4 GLASS	
C.D. TRUSCEN FULL INSECT SCREEN	
C.D. SEE ELEVATIONS FOR GRILLE PATTERN & LOCATIONS	
D. 5.7 SF CLEAR OPENING AREA 20" CLEAR OPENING WIDTH & 24" CLEAR OPENING HEIGHT	
E. OWNER SELECTED HARDWARE & FINISH	
F. INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THESE DRAWINGS, SUPERCEDED ONLY BY THE MANUFACTURER'S SPECIFICATIONS & INSTRUCTIONS.	



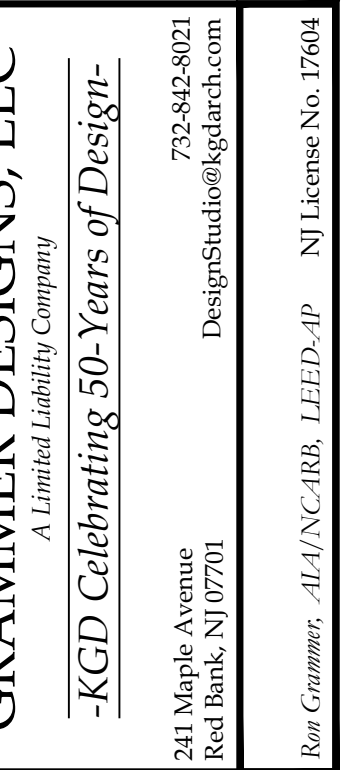
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DesignStudio@grammer.com
NJ License No. 17694

SECOND FLOOR & ROOF
PLANS, SCHEDULES

HILLIARD CONSTRUCTION
new residence for:
BLOCK 81
LOT 12.02
289 BAY AVENUE
HIGHLANDS, NEW JERSEY

DATE		REVISION	NUMBER	NORTH
DRAWN: RCG		SCALE: AS NOTED		
CHECKED: RCG				

PERMIT SET
A-1.1
10.28.19 19-72



HILLIARD CONSTRUCTION

NEW TECHNOLOGIES FOR COMMUNICATION

LOT 12.02

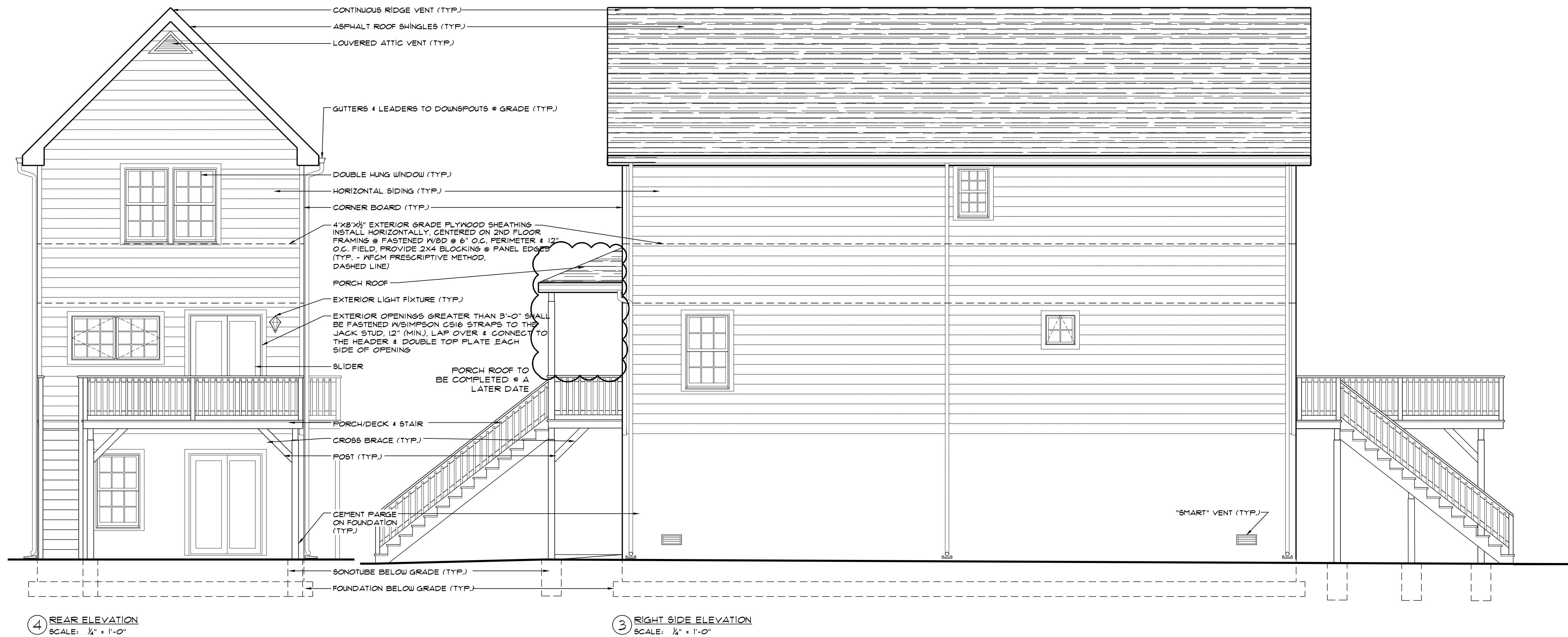
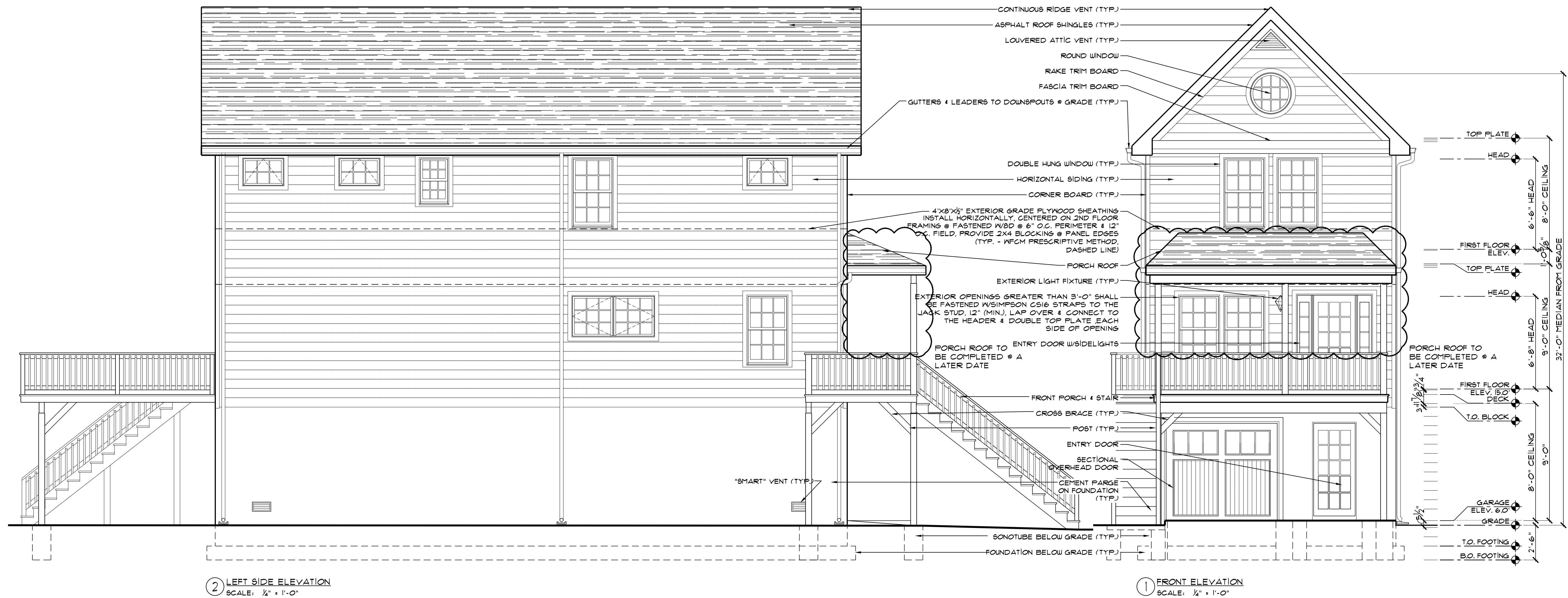
HIGHLANDS, NEW JERSEY

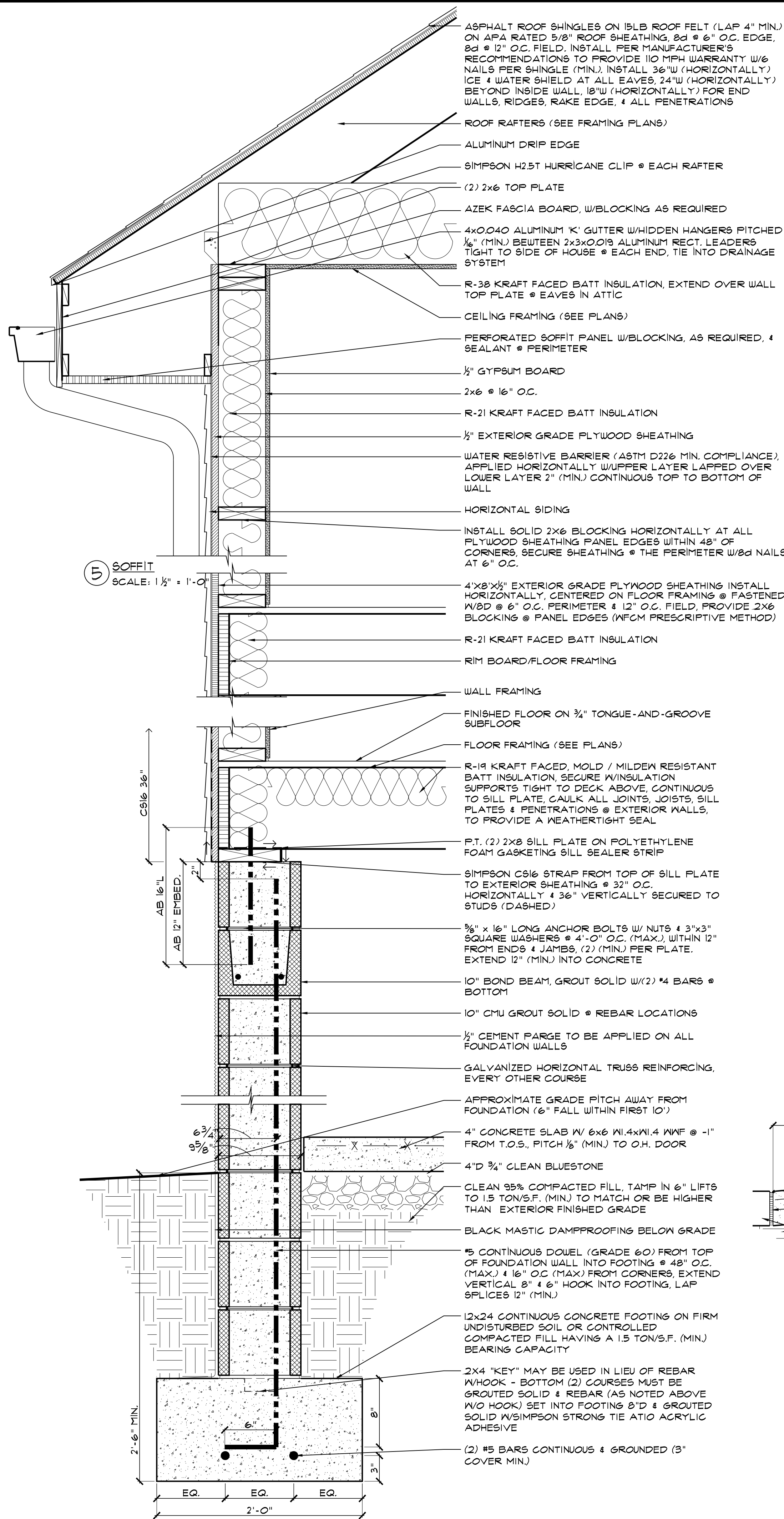
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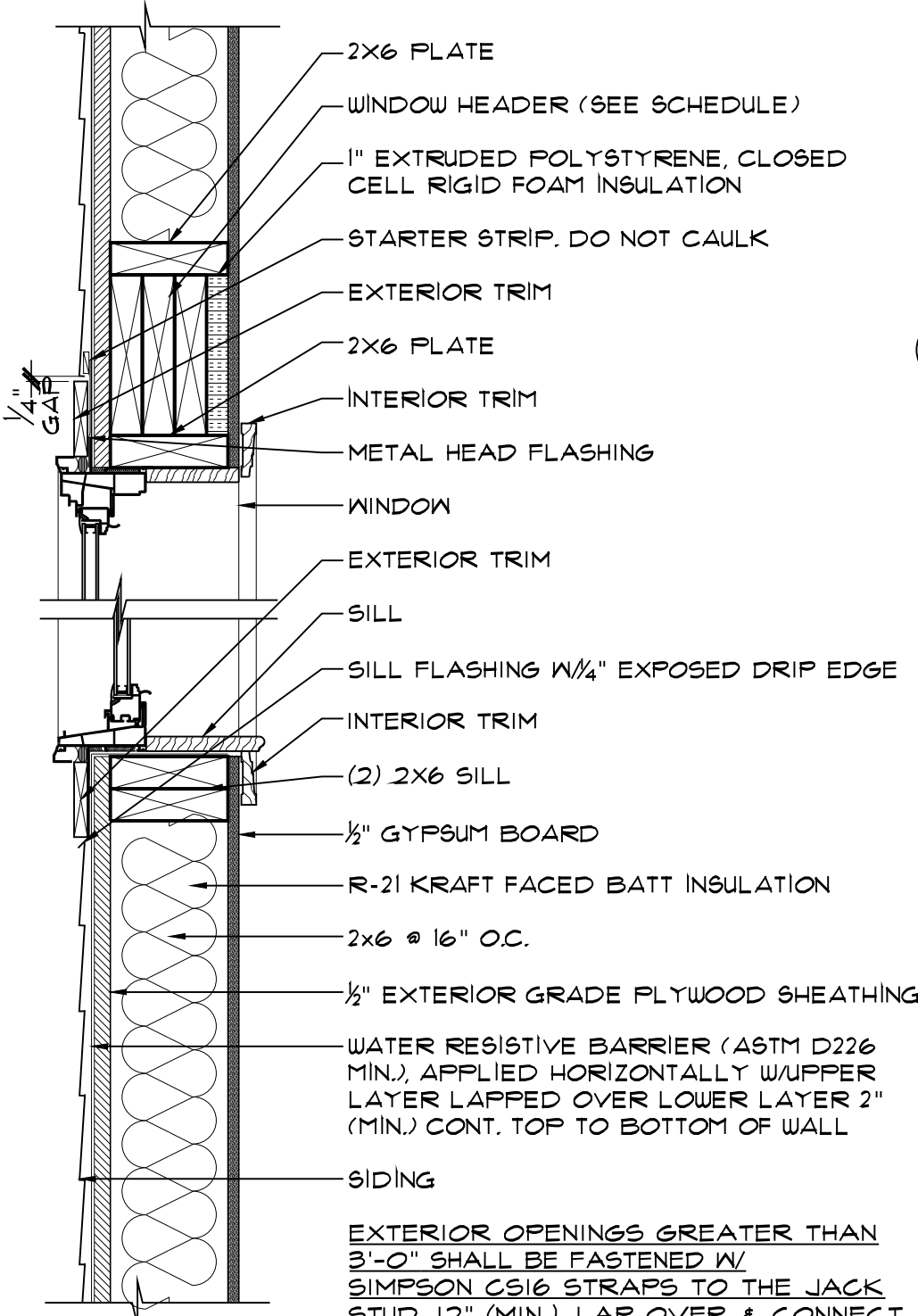
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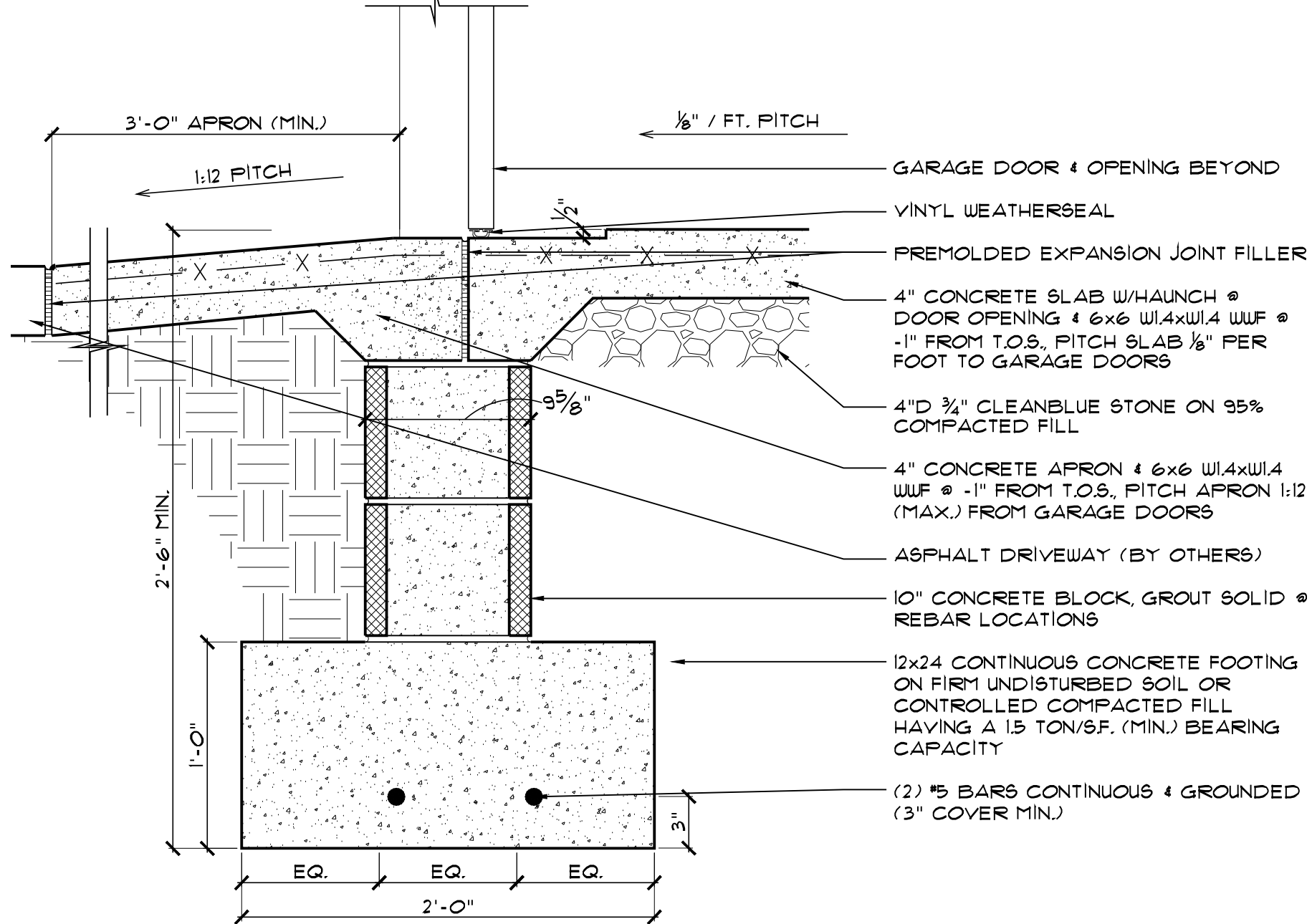




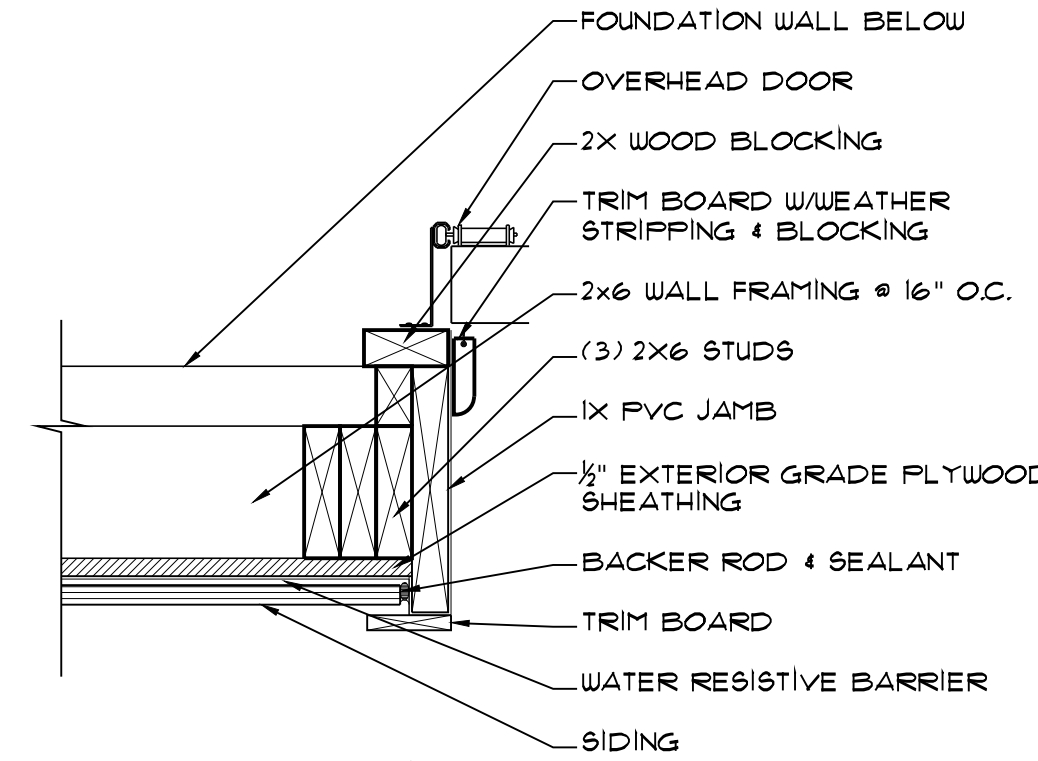
① FOUNDATION
SCALE: 1/2" = 1'-0"



⑥ WINDOW HEAD & JAMB
SCALE: 1/2" = 1'-0"
• SEE WINDOW INSTALLATION DETAILS FOR MORE INFO.

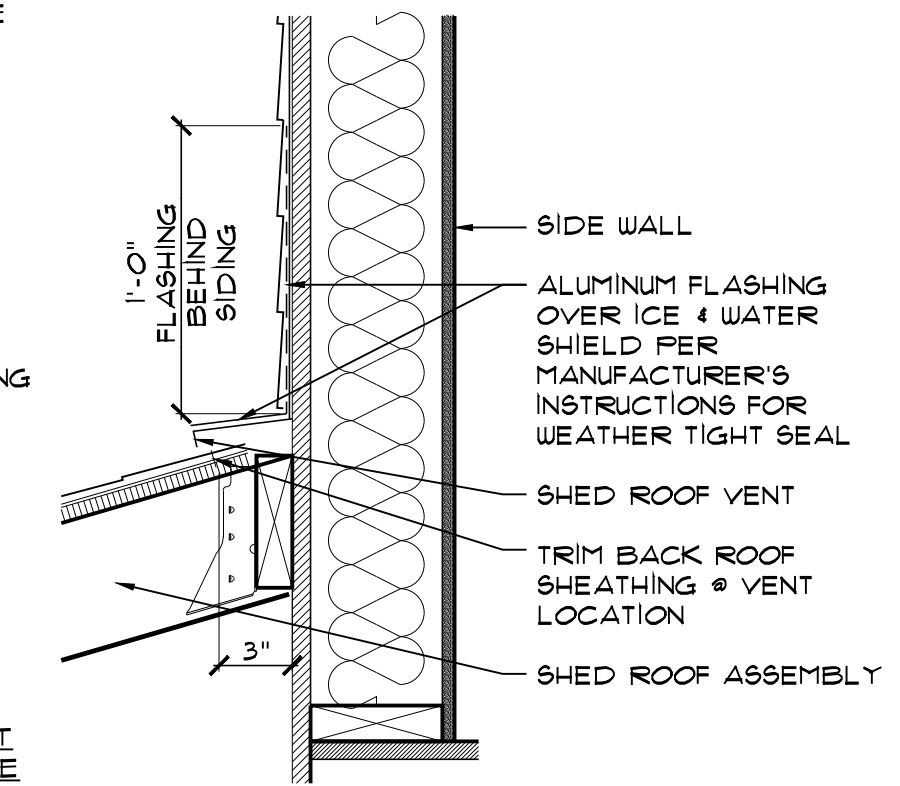


② FOUNDATION @ GARAGE OVERHEAD DOOR
SCALE: 1/2" = 1'-0"

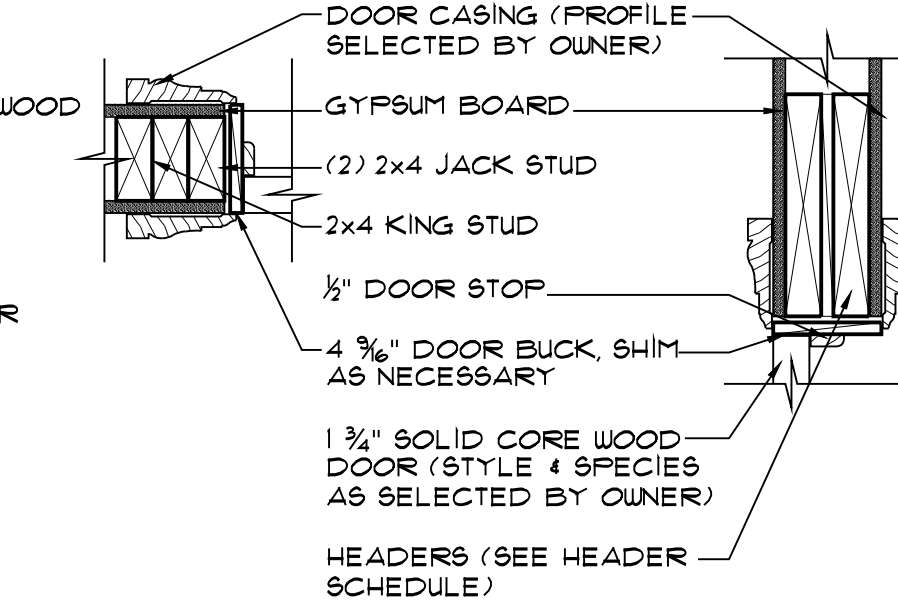


SHALL BE FASTENED W/ SIMPSON CS16 STRAPS TO THE JACK STUD, 12" (MIN.) LAP OVER & CONNECT TO THE HEADER & DOUBLE TOP PLATE EACH SIDE OF OPENING

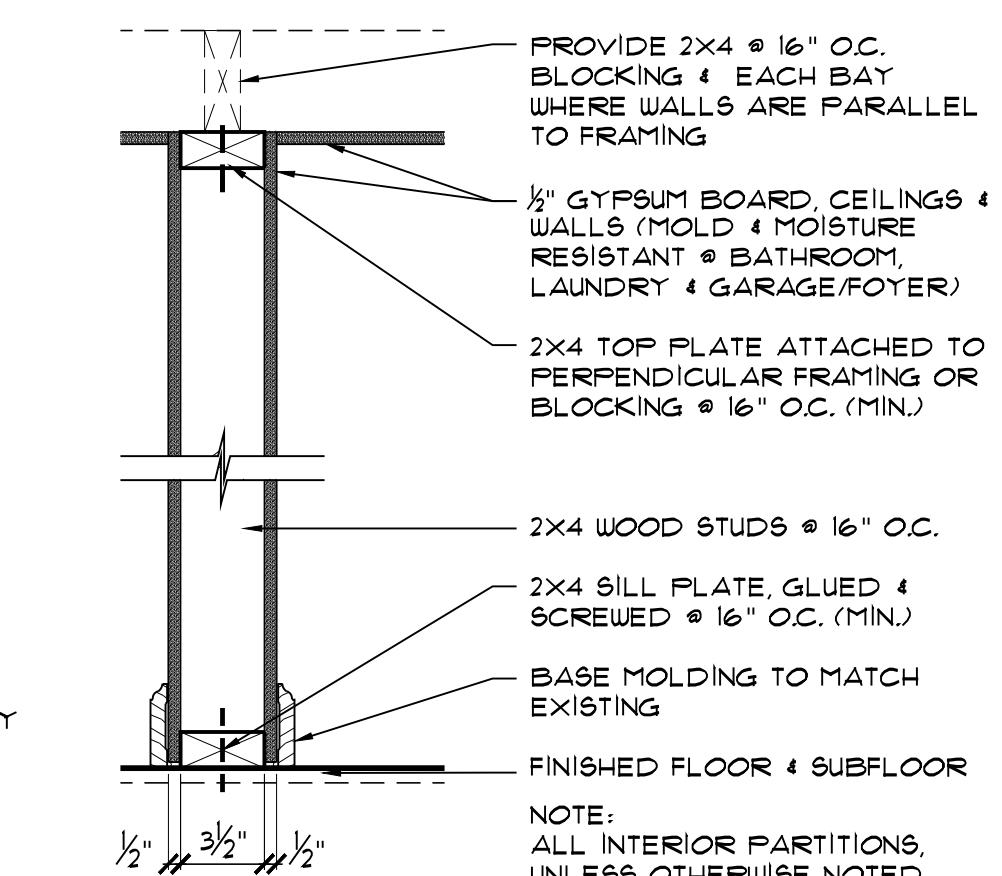
⑩ OVERHEAD DOOR JAMB
SCALE: 1/2" = 1'-0"



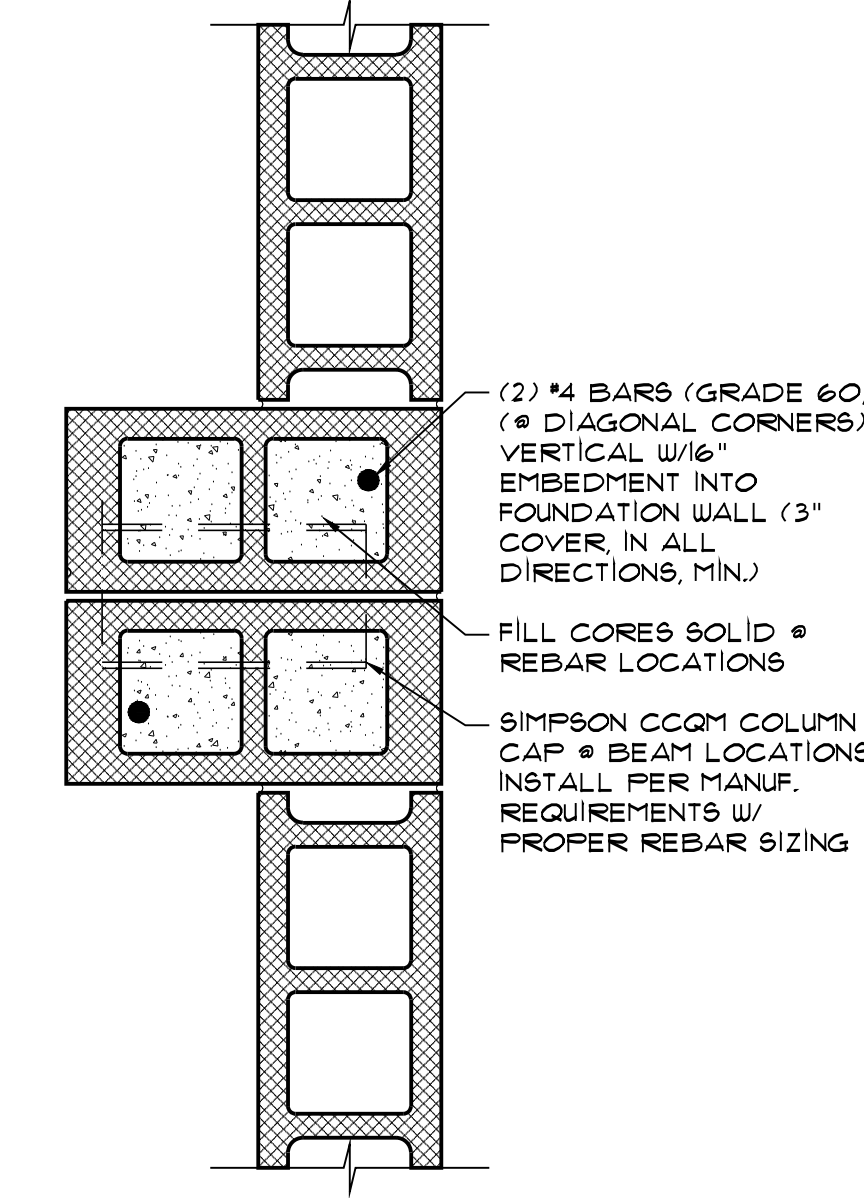
⑦ SHED ROOF VENT
SCALE: 1/2" = 1'-0"



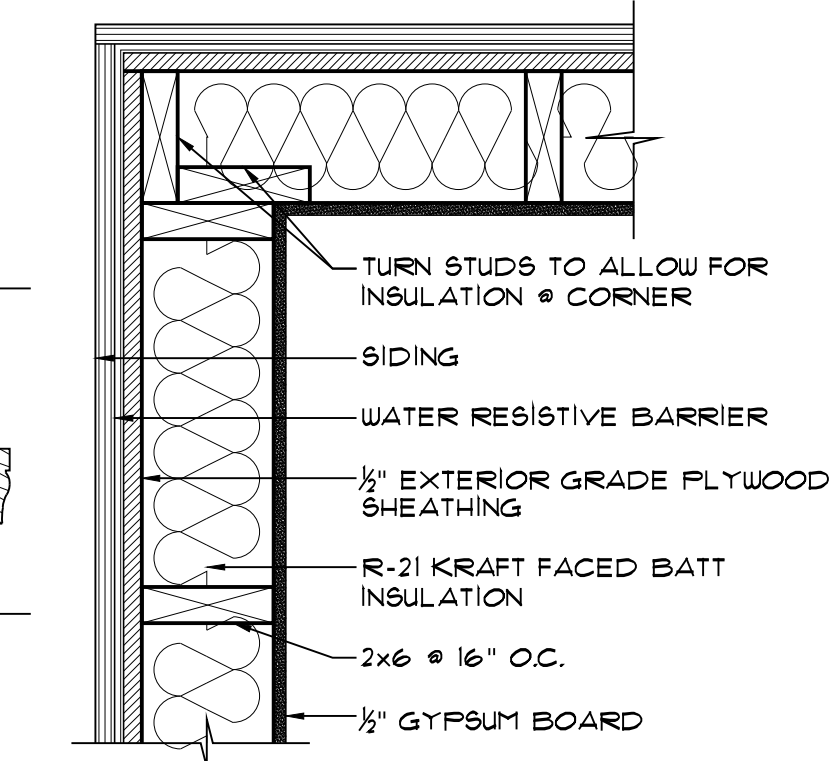
⑪ DOOR HEAD & JAMB
SCALE: 1/2" = 1'-0"



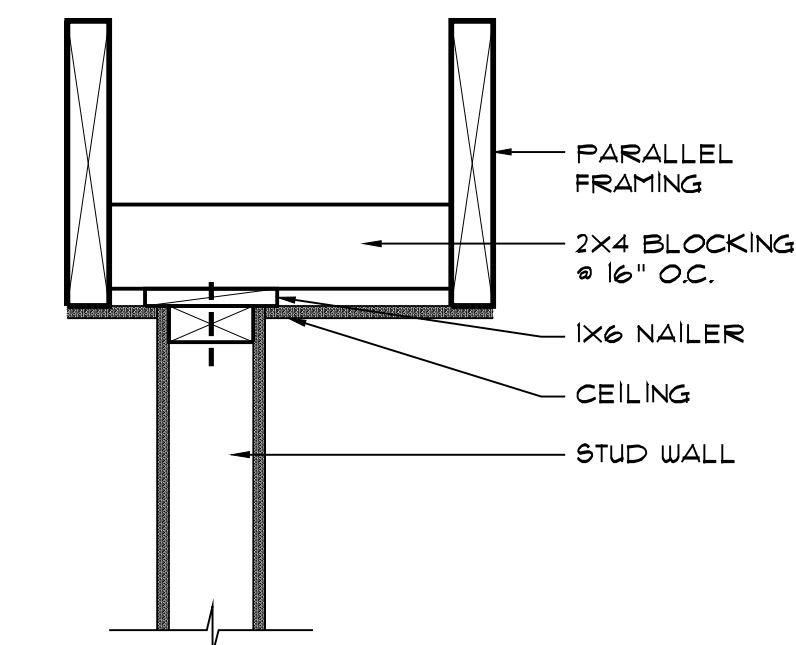
⑧ INTERIOR PARTITION
SCALE: 1/2" = 1'-0"



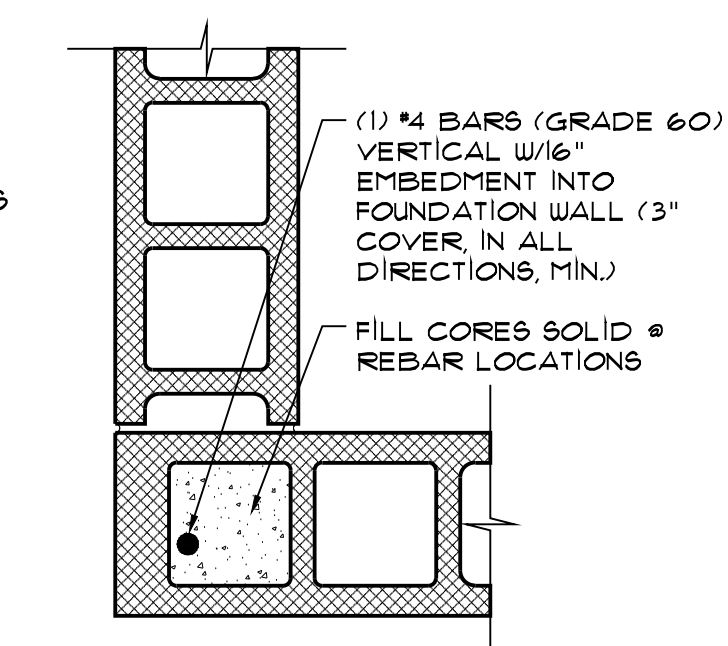
③ PLAN DETAIL @ PILASTER
SCALE: N.T.S.



⑫ 3-STUD EXTERIOR CORNER
SCALE: 1/2" = 1'-0"

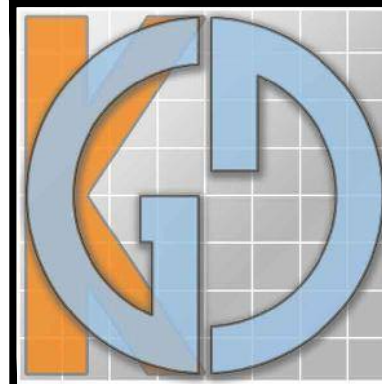


⑨ BLOCKING
SCALE: 1/2" = 1'-0"



④ PLAN DETAIL @ CORNER
SCALE: N.T.S.

- SEE SHEETS A-10 & A-11 FOR TYPICAL SECTION MARKS
- SEE GENERAL NOTES & SPECIFICATIONS, FASTENING SCHEDULE FOR ADDITIONAL INFO.
- THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY DISCREPANCIES OR DEFICIENCIES EXIST.



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-KGD Celebrating 50-Years of Design-
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Ben Grammer, AIA/NCARB, LEED-AP
NJ License No. 17604

DETAILS

HILLIARD CONSTRUCTION

new residence for:

BLOCK 81
LOT 12.02

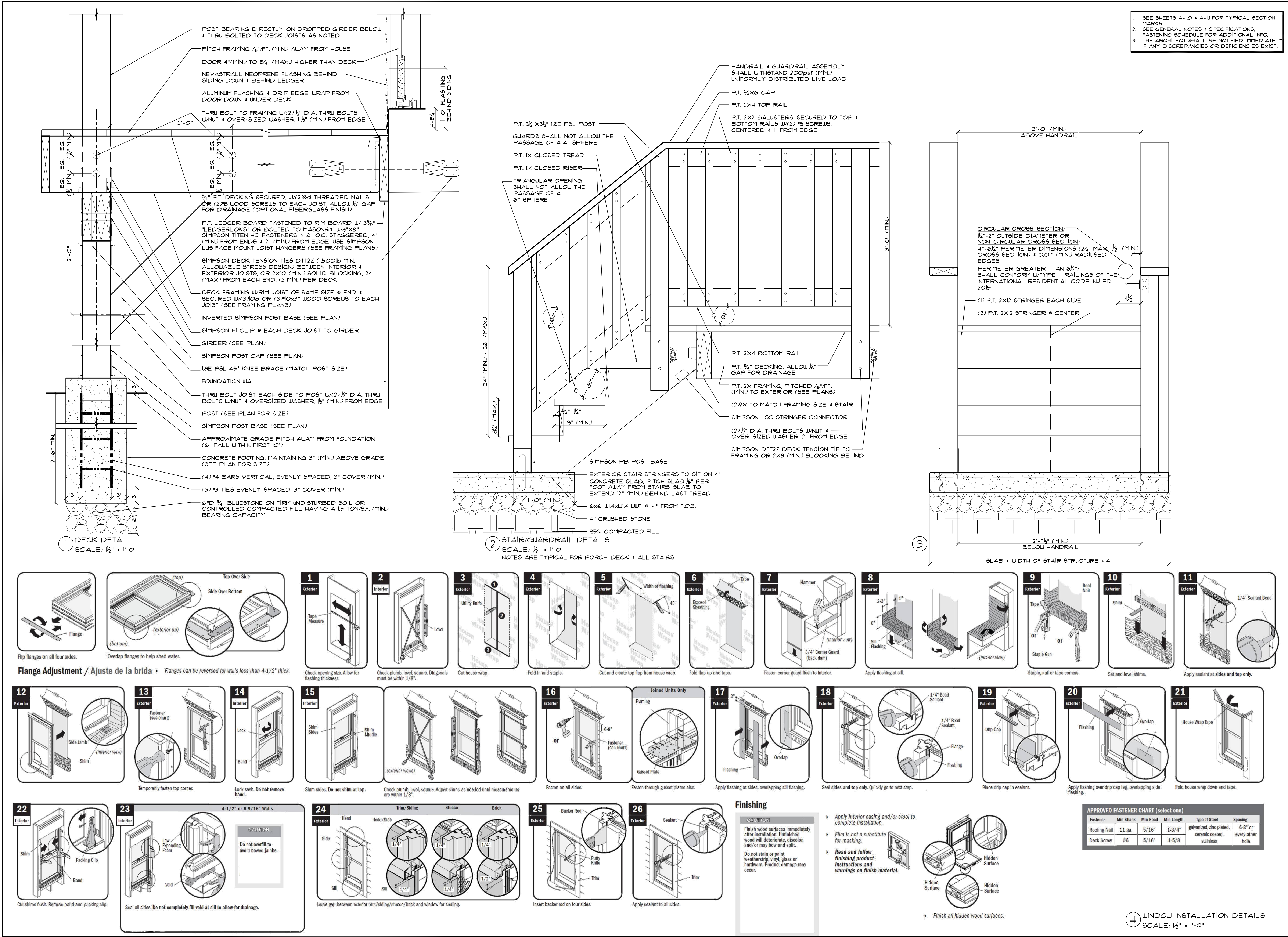
289 BAY AVENUE
HIGHLANDS, NEW JERSEY

DATE	REVISION	NUMBER	NORTH
DRAWN: RCG	SCALE: AS NOTED		
CHECKED: RCG			

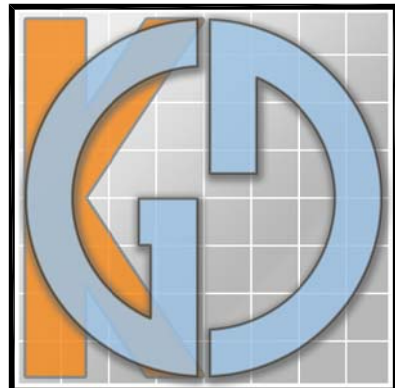
PERMIT SET

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10.28.19 19-72



- SEE SHEETS A-10 & A-11 FOR TYPICAL SECTION MARKS
- SEE GENERAL NOTES & SPECIFICATIONS, FASTENING SCHEDULE FOR ADDITIONAL INFO.
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DETAILS

HILLIARD CONSTRUCTION

new residence for:

BLOCK 81
LOT 12.02

289 BAY AVENUE
HIGHLANDS, NEW JERSEY

DATE	REVISION	NUMBER	NORTH
DRAWN: RCG	SCALE: AS NOTED		
CHECKED: RCG			

PERMIT SET

A-3.1

10.28.19 19-72

4 WINDOW INSTALLATION DETAILS
SCALE: 1/2" = 1'-0"

FASTENING SCHEDULE			
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING AND LOCATION
ROOF			
1	BLOCKING BETWEEN CEILING JOISTS OR RAFTERS TO TOP PLATE	4-8d BOX (2 1/2" X 0.113")OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	TOE NAIL
2	CEILING JOISTS TO TOP PLATE	4-8d BOX (2 1/2" X 0.113")OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	PER JOIST, TOE NAIL
3	CEILING JOINST NOT ATTACHED TO PARALLEL RAFTER, LAPS OVER PARTITION [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)]	4-10d BOX (3" X 0.128"); OR 3-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS	FACE NAIL
4	CEILING JOINST ATTACHED TO PARALLEL RAFTER (HEEL JOINT) [SEE SECTIONS R802.3.1, R802.3.2 AND TABLE R802.5.1(9)]	TABLE R802.5.1(9)	FACE NAIL
5	COLLAR TIE TO RAFTER, FACE NAIL OR 1 1/4" X 20 GA. RIDGE STRAP TO RAFTER	4-10d BOX (3" X 0.128"); OR 3-10d COMMON (3" X 0.148"); OR 4-3" X 0.131" NAILS	FACE NAIL EACH RAFTER
6	RAFTER OR ROOF TRUSS TO PLATE	3-16d BOX NAILS (3 1/2" X 0.135"); OR 3-10d COMMON NAILS (3" X 0.148"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	2 TOE NAILS ON ONE SIDE AND ONE TOE ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS
7	ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS OR ROOF RAFTER TO MINIMUM 2" RIDGE BEAM	4-16d (3 1/2" X 0.135"); OR 3-10d COMMON NAILS (3 1/2" X 0.148"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	TOE NAIL
		3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	END NAIL
WALL			
8	STUD TO STUD (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162")	24" O.C. FACE NAIL
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	16" O.C. FACE NAIL
9	STUD TO STUD AND ABUTTING STUDS AT INTERSECTING WALL CORNERS (AT BRACED WALL PANELS)	16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS	12" O.C. FACE NAIL
		16d COMMON (3 1/2" X 0.162")	16" O.C. FACE NAIL
10	BUILT-UP HEADER (2" TO 2" HEADER WITH 1/2" SPACER)	16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135")	16" O.C. EACH EDGE FACE NAIL 12" O.C. EACH EDGE FACE NAIL
11	CONTINUOUS HEADER TO STUD	5-8d BOX (2 1/2" X 0.113"); OR 4-8d BOX (2 1/2" X 0.131")OR 4-10d BOX (3" X 0.128")	TOE NAIL
12	TOP PLATE TO TOP PLATE	16d COMMON (3 1/2" X 0.162")	16" O.C. FACE NAIL
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	12" O.C. FACE NAIL
13	DOUBLE TOP PLATE SPLICE FOR SDCs A-D ₁ WITH SEISMIC BRACED WALL LINE SPACING < 25'	8-16d COMMON (3 1/2"X 0.162"); OR 12-16d BOX (3 1/2" X 0.135"); OR 12-10d BOX (3" X 0.128"); OR 12-3" X 0.131" NAILS	FACE NAIL ON EACH SIDE OF END JOINT (MINIMUM 24" LAP SPLICE LENGTH EACH SIDE OF END JOINT)
	DOUBLE TOP PLATE SPLICE FOR SDCs D ₂ , D ₃ , OR D ₃ ; AND BRACED WALL LINE SPACING ≤ 25'	12-16d BOX (3 1/2" X 0.135")	
14	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (NOT AT BRACED WALL PANELS)	16d COMMON (3 1/2" X 0.162") 16d BOX (3 1/2" X 0.135"); OR 3" X 0.131" NAILS	16" O.C. FACE NAIL 12" O.C. FACE NAIL
15	BOTTOM PLATE TO JOIST, RIM JOIST, BAND JOIST OR BLOCKING (AT BRACED WALL PANEL)	3-16d BOX (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162"); OR 4-3" X 0.131" NAILS	3 EACH 16" O.C. FACE NAIL 2 EACH 16" O.C. FACE NAIL 4 EACH 16" O.C. FACE NAIL
16	TOP OR BOTTOM PLATE TO STUD	4-8d BOX (2 1/2" X 0.113")OR 3-16d BOX (3 1/2" X 0.135"); OR 4-8d COMMON (2 1/2" X 0.131"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	TOE NAIL
		3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	END NAIL
17	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS	3-10d BOX (3" X 0.128"); OR 2-16d COMMON (3 1/2" x 0.162"); OR 3-3" X 0.131" NAILS	FACE NAIL
18	1" BRACE TO EACH STUD AND PLATE	3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2 STAPLES 1 3/4"	FACE NAIL
19	1" X 6" SHEATHING TO EACH BEARING	3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 2-10d BOX (3" X 0.128"); OR 2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	FACE NAIL
20	1" x 8" AND WIDER SHEATHING TO EACH BEARING	3-8d BOX (2 1/2" X 0.113"); OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	FACE NAIL
		WIDER THAN 1" X 8" 4-8d BOX (2 1/2" X 0.113")OR 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 4 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	

FASTENING SCHEDULE				
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS	SPACING AND LOCATION	
FLOOR				
21	JOIST TO SILL, TOP PLATE OR GIRDER	4-8d BOX (2 1/2" X 0.113");OR 3-8d BOX (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	TOE NAIL	
22	RIM JOIST, BAND JOIST OR BLOCKING TO SILL OR TOP PLATE (ROOF APPLICATIONS ALSO)	8d BOX (2 1/2" X 0.113") 3-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS	4" O.C. TOE NAIL 6" O.C. TOE NAIL	
23	1" x 6" SUBFLOOR OR LESS TO EACH JOIST	3-8d BOX (2 1/2" X 0.113"); OR 2-8d COMMON (2 1/2" X 0.131"); OR 3-10d BOX (3" X 0.128"); OR 2 STAPLES, 1" CROWN, 16GA., 1 3/4" LONG	FACE NAIL	
24	2" SUBFLOOR TO JOIST OR GIRDER	3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162")	BLIND AND FACE NAIL	
25	2" PLANKS (PLANK & BEAM - FLOOR & ROOF)	3-16d BOX NAILS (3 1/2" X 0.135"); OR 2-16d COMMON (3 1/2" X 0.162")	AT EACH BEARING, FACE NAIL	
26	BAND OR RIM JOIST TO JOIST	3-16d BOX NAILS (3 1/2" X 0.162"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS; OR 4-3" X 14 GA., STAPLES, 7/16" CROWN	END NAIL	
27	BUILT-UP GIRDERS AND BEAMS, 2-INCH LUMBER LAYERS	20d COMMON (4" X 0.192"); OR	NAIL EACH LAYER AS FOLLOWS: 32" O.C. AT TOP AND BOTTOM AND STAGGERED.	
		10d BOX (3" X 0.128"); OR 3" X 0.131" NAILS AND: 2-20d COMMON (4" X 0.192"); OR 3-10d BOX (3" X 0.128"); OR 3-3" X 0.131" NAILS	24" O.C. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES	
			FACE NAIL AT ENDS AND AT EACH SPLICE	
28	LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	4-16d BOX (3 1/2" X 0.135"); OR 3-16d COMMON (3 1/2" X 0.162"); OR 4-10d BOX (3" X 0.128"); OR 4-3" X 0.131" NAILS	AT EACH JOIST OR RAFTER, FACE NAIL	
29	BRIDGING TO JOIST	2-10d (3" X 0.128")	EACH END, TOE NAIL	
ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENERS _{a,b,c}	SPACING OF FASTENERS	
			EDGES (INCHES) ^h	INTERMEDIATE SUPPORTS ^{c,e} (INCHES)
WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND INTERIOR WALL SHEATHING TO FRAMING AND PARTICLE BOARD WALL SHEATHING TO FRAMING. [SEE TABLE R602.3(3) FOR WOOD STRUCTURAL PANEL				
EXTERIOR WALL SHEATHING TO WALL FRAMING				
30	3/8" - 1/2"	6d COMMON (2" X 0.113") NAIL (SUBFLOOR, WALL) 8d COMMON (2 1/2" X 0.131") NAIL (ROOF)	6	12 ^f
31	19/32" - 1"	8d COMMON (2 1/2" X 0.131")	6	12 ^f
32	1 1/8" - 1 1/4"	10d COMMON (3" X 0.148") NAIL; OR 8d (2 1/2" X 0.131") DEFORMED NAIL	6	12
OTHER WALL SHEATHING ^g				
33	1/2" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 1/2" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG	3	6
34	25/32" STRUCTURAL CELLULOSIC FIBERBOARD SHEATHING	1 3/4" GALVANIZED ROOFING NAIL, 7/16" HEAD DIAMETER, OR 1" CROWN STAPLE 16 GA., 1 1/4" LONG	3	6
35	1/2" GYPSUM SHEATHING ^o	1 1/2" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 1/2" LONG; 1 1/4" LONG SCREWS TYPE W OR S	7	7
36	5/8" GYPSUM SHEATHING ^o	1 3/4" GALV. ROOFING NAIL; STAPLE GALVANIZED, 1 5/8" LONG; 1 5/8" LONG SCREWS TYPE W OR S	7	7
WOOD STRUCTURAL PANELS, COMBINATION SUBFLOOR UNDERLAYMENT TO FRAMING				
37	3/4" AND LESS	6d DEFORMED (2" X 0.120") NAIL; OR 8d COMMON (2 1/2" X 0.131") NAIL	6	12
38	7/8" - 1"	8d COMMON (2 1/2" X 0.131") NAIL; OR 8d DEFORMED (2 1/2" X 0.120") NAIL	6	12
39	1 1/8" - 1 1/4"	10d COMMON (3" X 0.148") NAIL; OR 8d DEFORMED (2 1/2" X 0.120") NAIL	6	12

FOR SI: 1 INCH = 25.4MM, 1 FT = 304.8MM, 1 MILE PER HOUR = 0.447 M/S; KSI = 6.897MPa

- a. Nails are smooth-common, box or deformed shanks except where otherwise stated. Nails used for framing and sheathing connections shall have minimum average bending yield strengths as shown: 80 ksi for shank diameter of 0.192 inch (20d common nail), 90 ksi for shank diameters larger than 0.142 inch but not larger than 0.177 inch, and 100 ksi for shank diameters of 0.142 or less
- b. Staples are 16gage wire and have a minimum 7/16 inch on diameter crown width
- c. Nails shall be spaced at not more than 6 inches on center at all supports where spans are 48 inches or greater.
- d. Four-foot by 8-foot or 4-foot by 9-foot panels shall be applied vertically.
- e. Spacing of fasteners not included in this table shall be based on Table R602.3(2).
- f. Where the ultimate design wind speed is 130 mph or less, nails for attaching wood structural panel roof sheathing to gable end wall framing shall be spaced 6 inches on center. Where the ultimate design wind speed is greater than 130 mph, nails for attaching panel roof sheathing to intermediate supports shall be spaced 6 inches on center for minimum 48-inch distance from ridges, eaves and gable and walls' and 4 inches on center to gable end wall framing.
- g. Gypsum sheathing shall conform to ASTM C1396 and shall be installed in accordance with GA 253. Fiberboard sheathing shall conform to ASTM C208
- h. Spacing of fasteners on floor sheathing panel edges applies to panel edges supported by framing members and required blocking and at floor perimeters only. Spacing of fasteners on roof sheathing panel edges applies to panel edges supported by framing members and required blocking. Blocking of roof or floor sheathing panel edges perpendicular to the framing members need not be provided except as required by other provisions of this code. Floor perimeter she is supported by framing members or solid blocking.
- i. Where a rafter is fastened to an adjacent parallel ceiling joist in accordance with this schedule, provide two toe nails on one side of the rafter and toe nails from the ceiling joist to top plate in accordance with this schedule. The toe nail on the opposite side of the rafter shall not be required.



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FASTENING SCHEDULE

new residence for:
HILLIARD CONSTRUCTION

BLOCK 81
LOT 12.02

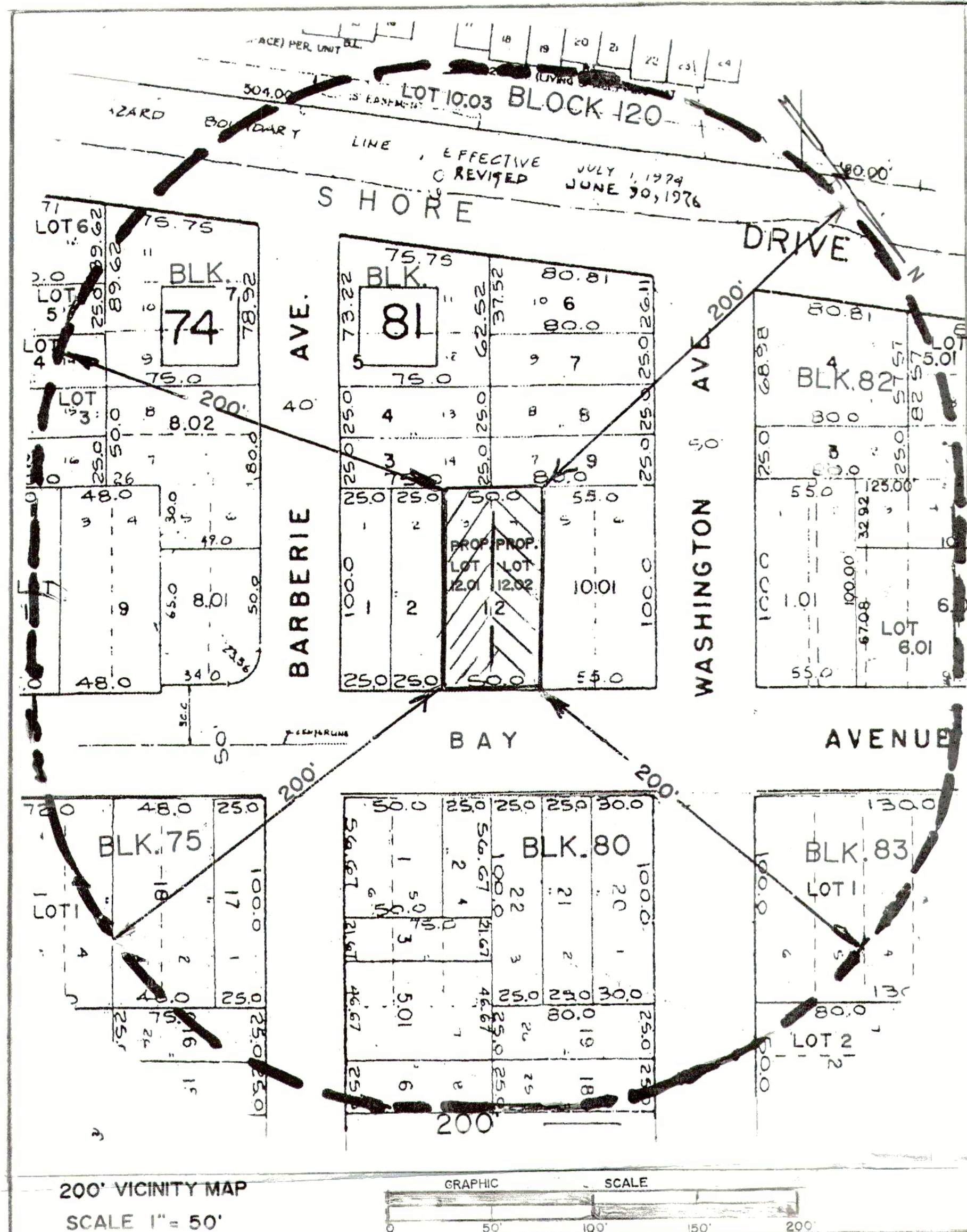
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HIGHLANDS, NEW JERSEY

DATE	DRAWN: CHECKED: RCG	REVISION	SCALE: AS NOTED	NORTH	NUMBER

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A-3.2

10.28.19 19-72



BOROUGH OF HIGHLANDS ZONING REQUIREMENTS			
LAND USE ORIGINATOR	REQUIREMENT	LOT 16.01	LOT 16.02
MIN. LOT AREA (SQ. FT.)	-	2,043	1,347
MIN. LOT DEPTH (FT.)	-	26.63	16.77
MIN. LOT BREADTH (FT.)	-	76.19	75.80
MIN. LOT FRONTAGE (FT.)	-	25.84	19.37
MIN. YARD REQUIREMENTS (PRINCIPAL BUILDING)			
MIN. FRONT YARD SETBACK (FT.)	0	0.8	2.3
MIN. REAR YARD SETBACK (FT.)	0	0	2.1
MIN. SIDE YARD SETBACK (FT.)	0	0	2.1
MAX. IMPERVIOUS COVERAGE (%)	80	52.3	44.1
MAX. FLOOR AREA RATIO	15	3	3
MAX. BUILDING COVERAGE (%)	35	45.2	34.9

PROPOSED LOT 12.01
2,500.00 SQ. FT.
PROPOSED DWELLING 819 SQ. FT. = 32.76% COV.
PROPOSED FRONT COVERED WOOD DECK AND CONCRETE DRIVE = 387 SQ. FT. = 15.48% COV.
TOTAL IMPERVIOUS COVERAGE = 48.24% COV.

PROPOSED LOT 12.02
2,500.00 SQ. FT.
PROPOSED DWELLING 819 SQ. FT. = 32.76% COV.
PROPOSED FRONT COVERED WOOD DECK AND CONCRETE DRIVE = 387 SQ. FT. = 15.48% COV.
TOTAL IMPERVIOUS COVERAGE = 48.24% COV.

I (WE) HEREBY CERTIFY TO BE THE OWNER(S) OF THE LAND DESIGNATED ON THIS MAP AND DO HEREBY CONSENT TO THE FILING OF THE MAP WITH THE MUNICIPALITY OR COUNTY.

SIGNATURE(S) DATE

THERE ARE NO WETLANDS IN OR AROUND THE PROPERTY AS SHOWN ON MONMOUTH COUNTY, NEW JERSEY GIS MAP (FROM LAND USE / LAND COVER 2012 UP DATE (WET LANDS ZONE)

Certification statement for the required municipal signatures, stating:

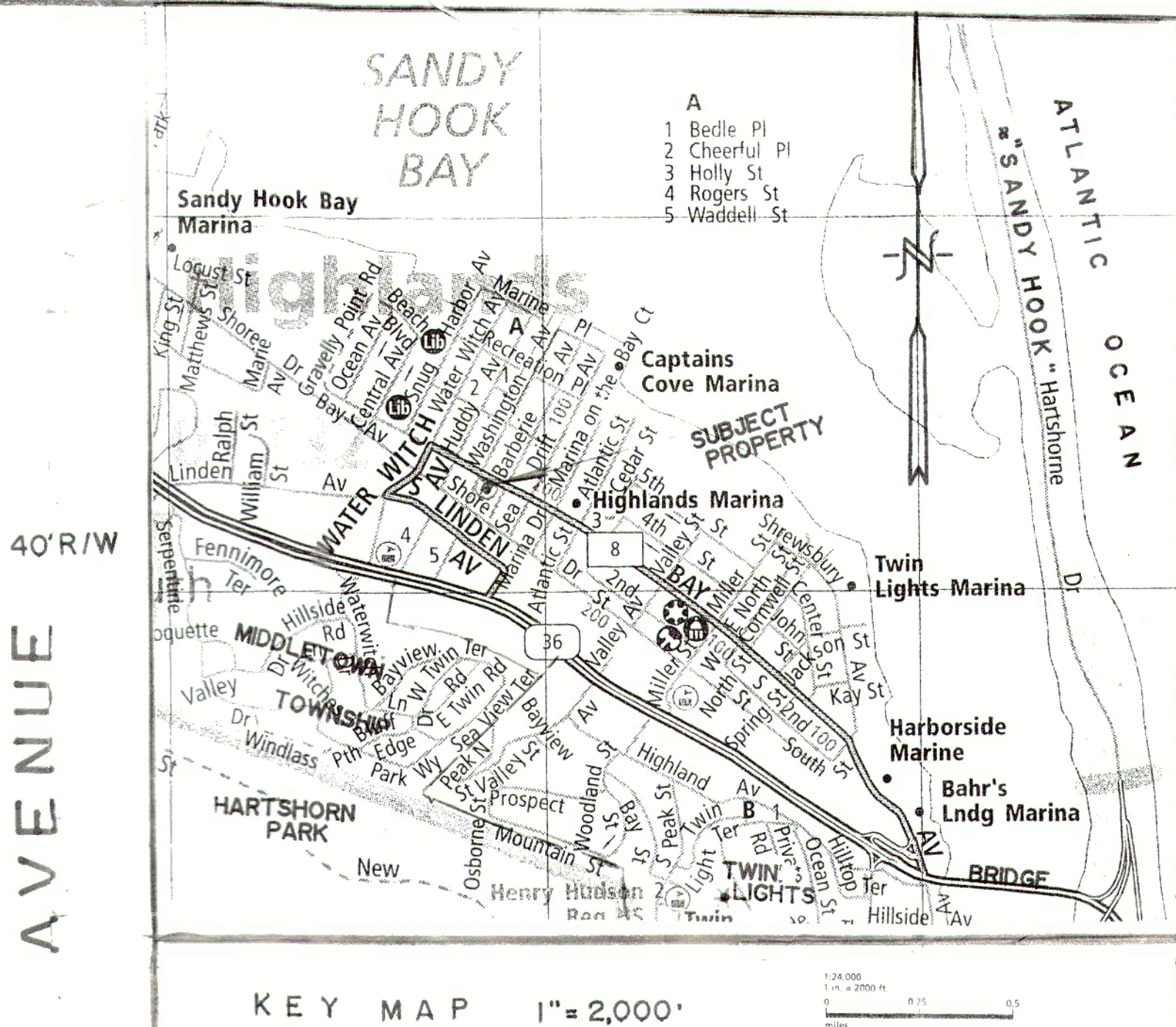
Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____ (date)

Chairman

Secretary

I, HEREBY CERTIFY THAT I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND THAT IT CONFORMS WITH THE PROVISIONS OF THE RESOLUTION OF APPROVAL, THE MUNICIPAL ORDINANCES AND REQUIREMENTS APPLICABLE THEREIN.

PLANNING BOARD ENGINEER



Lot	Owner	Address	Notes
1	CHILKOTY, JAMES R.	277 BAY AVENUE	Highlands Borough
2	HANDELSON, ROBERT C. & MARY ANN	86 BARRETT AVENUE	Highlands Borough
3	CONLEY, KATHLEEN	86 BARRETT AVENUE	Highlands Borough
4	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
5	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
6	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
7	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
8	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
9	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
10	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
11	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
12	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
13	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
14	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
15	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
16	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
17	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
18	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
19	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
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23	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
24	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
25	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
26	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
27	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
28	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
29	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
30	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
31	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
32	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
33	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
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35	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
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38	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
39	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough
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100	SHANDON, ENTERPRISES LLC	86 BARRETT AVENUE	Highlands Borough

I hereby certify that to the best of my knowledge and belief, this map and land survey dated 06-25-2019 meets the minimum Survey detail requirements as promulgated by the State Board of Professional Engineers and Land Surveyors and has been made under my supervision.

Thomas Craig Finnegan, P.L.S.
Licensed Professional Land Surveyor,
License No. 38601

OWNER/APPLICANT
ARJKA PROPERTY INC.
8 STRAWBERRY LANE
MONROE, N.J. 08831
FAX: 732-842-0956

C/O HILLARD CONSTRUCTION
68 LINDEN PLACE
RED BANK, N.J. 07701
732-558-1928

MINOR SUBDIVISION FOR HILLIARD CONSTRUCTION

LOT 12, BLOCK 81 SHEET 15
BOROUGH OF HIGHLANDS, MONMOUTH COUNTY, N.J.
PROPOSED LOTS 12.01 AND 12.02
TAX MAP PG. 15

THOMAS FINNEGAN LAND SURVEYING
THOMAS CRAIG FINNEGAN, N.J. LIC. 38601
PROFESSIONAL LAND SURVEYOR
245 EAST END AVENUE, BELFORD, N.J. 07718
PH. 732-787-0318, FAX 732-495-6217
TFINN58810@AOL.COM, CELL 732-856-2821

Scale 1" = 10'
June 25, 2019
REVISED NOVEMBER 18, 2020.







YOUR GOALS. OUR MISSION.

HGPB- R1840

September 11, 2020
Via Email

Michelle Hutchinson, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Plat Requirements (completeness)
CBD Zone

RECEIVED

DEC 11 2020

LAND USE BOARD

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

1. Planning Board Application for Subdivision, dated August 17, 2020.
2. Zoning Denial, dated June 4, 2020.
3. Proposed Elevation Certificate, dated June 15, 2020.
4. Minor Subdivision Plan prepared by Thomas Finnegan Land Surveying, dated June 25, 2019 consisting of one (1) sheet.
5. Architectural Plans prepared by Grammer Designs, LLC, dated October 28, 2019, consisting of three (3) sheets.

It should be noted that the application was filed assuming the property lies within the R-2.01 Zone, although the zone was actually changed in 2018 to be CBD. New single-family dwellings are not permitted uses in the CBD zone, therefore this application will require use variance relief.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided.**
2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Provided.**
3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Plat Requirements (completeness)
CBD Zone

presented from the custodian of tax records to that effect. **Not provided. Owner's list should be shown on the minor subdivision plan.**

4. The Tax Map sheet, block and lot numbers. **Provided.**
5. All streets or roads and streams within seventy-five (75) feet of the subdivision. **Provided.**
6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
7. Metes and bounds descriptions of all new lot and property lines. **Provided.**
8. Existence and location of any utility or other easement. **Provided.**
9. Setback, side line and rear yard distances and existing structures. **Provided.**
10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Partially provided. A graphic scale bar should be added to the minor subdivision plan.**
11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. **Not provided. Applicant shall provide prior to public hearing.**
12. Certification statement for the required municipal signatures, stating: **Not provided.**
 - o Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____ (date)

Chairman

Secretary

13. Certification statement for the County Planning Board approval / disapproval, if required. **Not provided. Bay Avenue is County Route 8; therefore, County Planning Board approval will be required.**
14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Incorrectly provided. The property used to be considered R-2.01 but was changed in 2018 to be in the CBD Zone. As this application will require use variance relief, the applicant shall show both the CBD Zone requirements and the R-2.01 requirements for reference.**
15. A wetlands statement provided by a qualified expert. **Not provided.**
16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **Not applicable.**
17. A lot grading plan, to be reviewed by the Borough Engineer, if required. **This will be a condition of any approval.**



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Plat Requirements (completeness)
CBD Zone

At this point, adequate information has not been provided for us to perform a technical review and fee calculation for the application, as the number of variances requested cannot be confirmed with the information provided. Therefore, at this time the application is deemed **INCOMPLETE**.

The following items should be addressed prior to the application being reconsidered for completeness:

- A. The Minor Subdivision plan shall include a zoning chart documenting the Ordinance bulk requirements and the proposed conditions for the project under both the CBD and R-2.01 requirements. It shall also include all of the items noted above as "not provided".
- B. The plan should note a compliant driveway width and confirm whether the minimum required two (2) off-street parking space demand per dwelling will be met, or if an additional variance will be required.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWB

cc: Kim Gonzales, Borough Administrator (via email)
Greg Baxter, Esq., Land Use Board Attorney (via email)
Andrew Stockton, Land Use Board Chairman (via email)
Rob Knox, Land Use Board Vice Chairman (via email)
Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831
Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701
Thomas Craig Finnegan, 245 East End Avenue, Belford, NJ 07718



HGPB- R1840

January 15, 2021
Via Email

Michelle Hutchinson, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Plat Requirements (second completeness)
CBD Zone**

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced application in accordance with the Borough of Highlands Zoning and Land Use Regulations section entitled Part 3, Subdivision and Site Plan Review, Article VI, Application Procedure, and Article VIII, Plat and Plan Details, section 21-58.A – Minor Subdivision Plat.

The applicant submitted the following documents in support of this application:

1. Planning Board Application for Subdivision, dated August 17, 2020.
2. Zoning Denial, dated June 4, 2020. **Updated Zoning Denial, dated September 11, 2020.**
3. Proposed Elevation Certificate, dated June 15, 2020.
4. Minor Subdivision Plan prepared by Thomas Finnegan Land Surveying, dated June 25, 2019 **and last revised November 18, 2020**, consisting of one (1) sheet.
5. Architectural Plans prepared by Grammer Designs, LLC, dated October 28, 2019, consisting of three (3) sheets.
6. **Response letter identifying checklist deficiency updates based on prior T&M completeness letter dated September 11, 2020.**

New single-family dwellings are not permitted uses in the CBD zone, therefore this application will require use variance relief.

The following information was reviewed for completeness purposes pursuant to Ordinance Section 21-58.A:

Minor Subdivision Plat: The plat shall be prepared to scale, based on a current survey or some other similarly accurate base, at a scale of not less than one (1) inch equals one hundred (100) feet, to enable the entire tract to be shown on one (1) sheet. The plat shall be signed and sealed by a licensed New Jersey Land Surveyor and shall show or include the following information:

1. A key map at a scale of not less than 1" = 400' showing the location of that portion which is to be subdivided in relation to the entire tract and the surrounding area. **Provided.**
2. All existing structures, wooded areas and topographical features, such as slump blocks, within the portion to be subdivided and within seventy-five (75) feet thereof. **Provided.**
3. The name of the owner and all adjoining property owners and owners of property directly across the street as disclosed by the most recent municipal tax record. If there is no positive evidence of



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Plat Requirements (second completeness)
CBD Zone

ownership of any parcel of adjoining property within two hundred (200) feet, a certificate will be presented from the custodian of tax records to that effect. **Provided.**

4. The Tax Map sheet, block and lot numbers. **Provided.**
5. All streets or roads and streams within seventy-five (75) feet of the subdivision. **Provided.**
6. Location of existing streets, and existing and proposed property lines, lot sizes, and areas. **Provided.**
7. Metes and bounds descriptions of all new lot and property lines. **Provided.**
8. Existence and location of any utility or other easement. **Provided.**
9. Setback, side line and rear yard distances and existing structures. **Provided.**
10. The name and address of the person preparing the plat, the graphic scale, date of preparation and reference meridian. **Provided.**
11. Certification from the Tax Collector that all taxes and assessments for local improvements on the property have been paid up to date. **Not provided. Applicant shall provide prior to public hearing.**
12. Certification statement for the required municipal signatures, stating: **Not provided.**
 - Application No. _____ approved/disapproved by the Highlands Borough Planning Board/Board of Adjustment as a Minor Subdivision on _____.
(date)

Chairman

Secretary

13. Certification statement for the County Planning Board approval / disapproval, if required. **Not provided but can be deferred. Bay Avenue is County Route 8; therefore, County Planning Board approval will be required.**
14. Zone district boundary lines, if any, on or adjoining the property to be subdivided and a schedule indicating the required minimum lot area, lot width, lot depth and front, rear and side yards of each zone district located on the property. **Provided.**
15. A wetlands statement provided by a qualified expert. **Provided.**
16. The Board reserves the right to require a feasible sketch plan layout of remaining land not being subdivided if it is deemed necessary. **Not applicable.**
17. A lot grading plan, to be reviewed by the Borough Engineer, if required. **This will be a condition of any approval.**



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Plat Requirements (second completeness)
CBD Zone

At this point, adequate information has been provided for us to perform a technical review and fee calculation for the application.

UPON CONFIRMATION FROM THE BOARD SECRETARY THAT THE BALANCE OF ALL APPLICATION AND ESCROW FEES HAS BEEN DULY POSTED, THE FOLLOWING SHALL OCCUR:

1. The application shall be deemed **COMPLETE**.
2. The Board Secretary shall refer the application to the Board Chairman for consideration of scheduling the public hearing, and so notify the applicant and interested parties in writing regarding the public hearing date and any notice requirements. **PLEASE NOTE THAT THE SCHEDULING OF HEARINGS MAY BE DELAYED AS A RESULT OF THE COVID-19 PANDEMIC.**
3. The Board Engineer shall commence the technical review.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWB

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Rob Knox, Land Use Board Chairman (via email)
Annemarie Tierney, Land Use Board Vice Chairman (via email)
Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831
Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701
Thomas Craig Finnegan, PLS; 245 East End Ave, Belford, NJ 07718



HGPB- R1840

January 15, 2021

Michelle Hutchinson, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Fee and Escrow Calculation
CBD Zone**

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced site plan application. The applicant submitted the following documents in support of this application:

1. Planning Board Application for Subdivision, dated August 17, 2020.
2. Zoning Denial, dated June 4, 2020. **Updated Zoning Denial, dated September 11, 2020.**
3. Proposed Elevation Certificate, dated June 15, 2020.
4. Minor Subdivision Plan prepared by Thomas Finnegan Land Surveying, dated June 25, 2019 **and last revised November 18, 2020**, consisting of one (1) sheet.
5. Architectural Plans prepared by Grammer Designs, LLC, dated October 28, 2019, consisting of three (3) sheets.
6. **Response letter identifying checklist deficiency updates based on prior T&M completeness letter dated September 11, 2020.**

Please note the following fee calculations:

- | | |
|---------------------|-------------|
| 1. Application fee: | \$ 1,300.00 |
| 2. Escrow fee: | \$ 2,600.00 |

We will commence our technical review upon your notification that all fee and escrow balances have been duly posted.

If you have any questions or require additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWB

Enclosure



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Review of Minor Subdivision, Fee and Escrow Calculation
CBD Zone

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Rob Knox, Land Use Board Chairman (via email)
Annemarie Tierney, Land Use Board Vice Chairman (via email)
Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831
Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701

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HGPB-R1840

DETERMINATION OF FEES

289 Bay Avenue
Block 81, Lot 12

A. APPLICATION FEES (Ord. 21-107)

A. Variances

3. Residential "c" (side yard setbacks, buildings, x 4)

4 EA \$ 125.00 \$ 500.00

Residential "c" (side yard setbacks, decks, x 2)

2 EA \$ 125.00 \$ 250.00

4. Residential "d" (use not permitted)

1 EA \$ 150.00 \$ 150.00

B. Subdivisions

2. Minor

1 EA \$ 400.00 \$ 400.00

B. ESCROW FEES (Ord. 21-108)

B. Escrow Deposits (twice Application Fee; Minimum \$750)

1 LS \$ 2,600.00 \$ 2,600.00

Application fees subtotal \$ 1,300.00

Escrow fee subtotal \$ 2,600.00

Total \$ 3,900.00



HGPB- R1840

March 9, 2021
Via Email

Michelle Hutchinson, Land Use Board Secretary
Borough of Highlands Land Use Board
42 Shore Drive
Highlands, New Jersey 07732

**Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Minor Subdivision
First Engineering Review**

Dear Ms. Hutchinson:

As requested, we have reviewed the above-referenced minor subdivision application in accordance with the Borough of Highlands Zoning and Land Use Regulations.

The applicant submitted the following documents in support of this application:

1. Planning Board Application for Subdivision, dated March 10, 2020.
2. Zoning Denial, dated June 4, 2020.
3. One (1) Minor Subdivision Plan prepared by Thomas Craig Finnegan, P.L.S. dated, June 25, 2019 revised through November 18, 2020, consisting of one (1) sheet.
4. One (1) Architectural Plan prepared by Grammar Designs, LLC, not dated, consisting of three (3) sheets.
5. Subdivision Application.

A. Project Description

The property in question is a 5,000 s.f. square lot with frontage on Bay Avenue. The property appears to be vacant at this time. Should the minor subdivision be approved, the applicant proposes to subdivide the property into two 2,500 s.f. lots and build a new dwelling on each lot, along with a concrete driveway, covered and elevated wooden front porch, an elevated rear wooden deck and attached garage.

B. Planning and Zoning

1. The property is located within the Central Business District (CBD) zone. Single-family dwellings are not a permitted use in this zone, therefore a d(1) use variance is required. As proposed, both new dwellings would take access from Bay Avenue.



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Minor Subdivision
First Engineering Review

2. Bulk Requirements:

CBD Zone	Required	Existing Lot 12	Proposed Lot 12.01	Proposed Lot 12.02
Min. Lot Size (sf)	-	5,000	2,500	2,500
Min. Lot Frontage (ft)	-	50.0	25.0	25.0
Min. Lot Depth (ft)	-	100.0	100.0	100.0
Min. Front Yard Setback (ft)	0	0	23.0 bldg. 18.0 porch	23.0 bldg 18.0 porch
Minimum Rear Yard Setback (ft)	12	0	31.5	31.5
Min. Side Yard Setback (ft)	5**	0	3.0(V) 4.0 (V)	3.0(V) 4.0 (V)
Maximum Building Height (ft) ***	36	0	+/- 26.0	+/- 26.0
Lot Coverage	80%	0	48.24%	48.24%
Building Coverage	35%	0	32.76%	32.76%
FAR	0.65	0	TBD	TBD

**Section 21-91.A.4.a indicates that side yards are not required in the CBD Zone, however, if any are to be provided, they shall be at least five (5) feet.

***Where a dwelling is constructed to provide the required parking under the structure, the maximum height shall be increased by two and one-half (2-1/2) feet.

(V) Proposed variance

3. The applicant's proposal requires the four (4) bulk 'c' variances as indicated in the chart above. In addition, side yard variance relief should be required for the front steps on both properties.
4. The applicant shall clarify their intent with respect to the front deck/covered porch on each property. If a roofed porch is proposed, the front setback would be measured to the face of the porch.
5. Section 21-91.A.4.b indicates that all buildings containing residential uses in the CBD Zone shall provide outdoor living space at the rate of one hundred (100) square feet per unit, plus fifty square feet per bedroom. The architectural plan provided for proposed lot 12.02 indicates that three (3) bedrooms are proposed, therefore requiring 250 square feet of outdoor living space. The combination of the proposed deck and rear yard area appears to meet this requirement. The applicant shall clarify if the proposed dwelling for lot 12.01 will be the same as lot 12.02, as only one architectural plan was provided.



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Minor Subdivision
First Engineering Review

6. It appears the applicant has provided a zoning chart which references incorrect Lots and has subsequently provided irrelevant lot information. The applicant shall revise the zoning chart to provide the correct zoning information for existing Lot 12 as well as proposed Lots 12.01 and 12.02.
7. It should be noted that since single-family residential uses are not permitted in this zone, the bulk criteria requirements are not specifically geared to this use. The 3' and 4' side yard setbacks proposed are similar to the reduction criteria found in residential zone districts for "pre-existing nonconforming vacant lots" (Ordinance Section 21-98.F.1(f)), although do not appear to specifically apply in this instance.
8. The applicant has shown proposed stairs on the sides of both properties, which will result in a side setback of only one (1) foot. Typically, stairs are required to be a minimum of 3' from all property lines. Additionally, having both sets of stairs abutting each other will make access to the rear of the lot more difficult.

Use Variance

The applicant must demonstrate that the application satisfies both the positive and the negative criteria of the Municipal Land Use Law for the granting of the use variance relief. The determination of the positive criteria establishes the benefits of the variance. The determination of the negative criteria establishes the detriments to the public good that would result from the variance. By nature, a variance is a departure from and an impairment of the zone plan. On balance, the benefits of granting the variance must be such that the resulting detriments are not substantial. The greater the benefits of the variance, the greater the detriments must be in order to be considered substantial. Accordingly, the applicant must demonstrate the following for "d" variance relief:

Positive Criteria

There are two prongs to the positive criteria that the applicant must satisfy, as follows:

That the site is particularly suited to the use. Unless the Board determines that the proposed use qualifies as an inherently beneficial use of the proposed site, the applicant must prove that the site is particularly suited to the use.

There are special reasons that allow a departure from the zoning regulations in this particular case. Unless the Board determines that the use qualifies as an inherently beneficial use as discussed above, the applicant must prove that special reasons support the grant of the variance. The only acceptable special reasons for the grant of a "d" variance would be proof that the variance promotes the purpose of zoning, or proof of undue hardship. The purposes of zoning are established by the Municipal Land Use Law (N.J.S.A. 40:55D-2) and the applicant must demonstrate that the variance promotes one or more of those purposes to establish special reasons. Alternatively, the applicant may offer as a special reason proof that refusal to grant the variance would result in undue hardship. Proof of undue hardship for a "d" variance requires that the applicant prove that the property cannot be reasonably adapted to conform to the zone requirements.



Re: Arjika Properties, Inc.
289 Bay Avenue
Block 81, Lot 12
Minor Subdivision
First Engineering Review

Negative Criteria

There are two prongs to the negative criteria that the applicant must satisfy, as follows:

That the variance can be granted without substantial detriment to the public good. This prong requires an evaluation of the impact of the variance on surrounding properties and a determination as to whether or not it causes such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.

That the variance will not substantially impair the intent and purpose of the zoning plan and ordinance. The Board of Adjustment is precluded by the negative criteria from granting any "d" variance relief unless an applicant demonstrates that the variance will not substantially impair the intent and purpose of the zone plan. The process for zoning decisions is through the recommendations of the municipal master plan as implemented through zoning ordinances adopted by the governing body. This establishes the zones, standards, and requirements for the development of the municipality. The Board of Adjustment is precluded by the negative criteria from granting any "d" variance relief unless an applicant demonstrates that the variance will not substantially impair the intent and purpose of the zone plan. If the grant of a variance substantially alters the municipality's zone plan, the action is impermissible because it usurps the zoning power of the governing body and undermines the municipal planning process.

To be entitled to bulk variance relief, the applicant must provide proof to satisfy the positive and negative criteria pursuant to N.J.S.A. 40: 55D-70c for the bulk variances:

- **Positive Criteria.** The applicant must prove either a hardship in developing the site in conformance to the zone standards due to exceptional narrowness, shallowness, or shape of the property; or due to exceptional topographic conditions or physical features uniquely affecting the property; or due to an extraordinary and exceptional situation affecting the property or its lawful existing structures. Alternatively, the applicant may satisfy the positive criteria by demonstrating that the variance relief will promote a public purpose as set forth in the Municipal Land Use Law (N.J.S.A. 40:55D-2) and thereby provide improved community planning that benefits the public and the benefits of the variance substantially outweigh any detriment.
- **Negative Criteria.** The applicant must also show that the bulk variances can be granted without substantial detriment to the public good or substantially impairing the intent and purpose of the zone plan. This requires consideration of the impact of the proposed variances on surrounding properties and a determination as to whether or not the variance would cause such damage to the character of the neighborhood as to constitute a substantial detriment to the public good.

C. Additional Comments

1. The properties are located in the AE-11 flood zone. The architectural elevations should note this, and the height measurement should be shown in accordance with the Ordinance definition, which is measured from the grade plane (flood elevation plus one foot) to the midline of the roof. My calculations show the height accordingly as approximately 26'.
2. The architectural plans shall note that appropriate flood zone construction techniques will be required.



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3. Should the minor subdivision be approved, the applicant would have to submit plot/grading/stormwater management plans to the Zoning Officer for review and approval.
4. The plans note that a garage is proposed. The applicant shall clarify the number of garage spaces that are to be provided. Please note that two (2) off-street parking spaces per house are required. It appears that this requirement can be met with one garage space and the driveway pad 23' long.
5. The applicant has not indicated any proposed utility connections. A detailed utility plan shall be required should the application be approved.
6. Pursuant to Ordinance Section 21-65.10A (Landscaping and Street Trees), "All areas not devoted to structures, paving, or other required uses shall be appropriately graded, landscaped and maintained in accordance with a landscaping plan approved by the Board". The Board should determine if a landscaping plan is required.
7. We note that the applicant may not be proposing the subdivision within a residential zone, however given the intended use is residential we recommend that street trees be provided if feasible pursuant to Ordinance Section 21-65.10B (Landscaping and Street Trees), "In residential zones, street trees of at least two (2) to two and one-half (2-1/2) inch caliper will be required, planted a distance on center equivalent to no more than the width of their mature diameter. Where street trees are not appropriate because of views, existing vegetation, or other reason, the equivalent number of trees shall be located elsewhere on the lot". The Board should determine if street trees are required for this application.
8. Classification as a minor subdivision shall expire one hundred ninety (190) days from the date of approval unless within such period a plat in conformity with such approval and the provisions of the Map Filing Law, P.L. 1960, c. 141 (N.J.S.A. 46:23-9.9 et seq.), or a deed clearly describing the minor subdivision is filed by the developer with the County Recording Officer, the Borough Engineer and the Borough Tax Assessor. Any such plat or deed accepted for such filing shall have been signed by the Chairman and Secretary of the Board. In reviewing the application for a minor subdivision, the Board shall be permitted to accept a plat not in conformity with the Map Filing Act, P.L. 1960, c. 141 (N.J.S.A. 46:23-9.9 et seq.), provided that, if the developer chooses to file the minor subdivision as provided herein by plat rather than deed, such plat shall conform with the provisions of said act.
9. Should the application be approved, the applicant shall provide a written confirmation from the tax assessor that the lot numbering is acceptable prior to filing the deeds.
10. Should the application be approved, the applicant shall provide a metes and bounds deed description for review by the Board Engineer, and the legal form to the Board Attorney for review and approval prior to filing.



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11. The applicant shall obtain outside agency approvals from the following as required:

- a. Construction Official
- b. Floodplain Official
- c. Fire Official
- d. NJDEP and
- e. All other departments and agencies having jurisdiction.

Should you have any questions or require any additional information, please call.

Very truly yours,

T&M ASSOCIATES

EDWARD W. HERRMAN, P.E., P.P., C.M.E., C.F.M.
LAND USE BOARD ENGINEER

EWH:TJL

cc: Michael Muscillo, Borough Administrator (via email)
Ron Cucchiaro, Esq., Land Use Board Attorney (via email)
Rob Knox, Land Use Board Chairman (via email)
Annemarie Tierney, Land Use Board Vice Chairman (via email)
Arjika Properties, Inc. (applicant), 8 Strawberry Lane, Monroe, NJ 08831
Hilliard Construction, 68 Linden Place, Red Bank, NJ 07701
Thomas Craig Finnegan, PLS; 245 East End Ave, Belford, NJ 07718